

## AGENDA FOR THE



### CITY OF PINOLE PLANNING COMMISSION REGULAR MEETING

**Monday, November 30, 2020**

**7:00 P.M.**

Via Zoom Videoconference

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**DUE TO THE STATE OF CALIFORNIA'S DECLARATION OF EMERGENCY – THIS MEETING IS BEING HELD PURSUANT TO AUTHORIZATION FROM GOVERNOR NEWSOM'S EXECUTIVE ORDERS – CITY COUNCIL AND COMMISSION MEETINGS ARE NO LONGER OPEN TO IN-PERSON ATTENDANCE.**

#### **WAYS TO WATCH THE MEETING**

- LIVE ON CHANNEL 26. The Community TV Channel 26 schedule is published on the City's website at [www.ci.pinole.ca.us](http://www.ci.pinole.ca.us). The meeting can be viewed again as a retelecast on Channel 26.
- VIDEO-STREAMED LIVE ON THE CITY'S WEBSITE, [www.ci.pinole.ca.us](http://www.ci.pinole.ca.us). and remain archived on the site for five (5) years.
- If none of these options are available to you, or you need assistance with public comment, please contact Planning Manager David Hanham at (510) 724-8912 or [ghanham@ci.pinole.ca.us](mailto:ghanham@ci.pinole.ca.us).

#### **COMMENTS**

Please submit public comments to Planning Staff before or during the meeting via email [ghanham@ci.pinole.ca.us](mailto:ghanham@ci.pinole.ca.us). Comments received before the close of the item will be read into the record and limited to 3 minutes. Please include your full name, city of residence and agenda item you are commenting on.

In compliance with the Americans with Disabilities Act of 1990, if you need special assistance to participate in a City meeting or you need a copy of the agenda, or the agenda packet in an appropriate alternative format, please contact the Development Services Department at (510) 724-8912. Notification of at least 48 hours prior to the meeting or time when services are needed will assist the City staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting or service.

Assistant listening devices are available at this meeting. Ask staff if you desire to use this device.

**CITIZEN PARTICIPATION:**

Persons wishing to speak on an item listed on the Agenda may do so when the Chair asks for comments in favor of or in opposition to the item under consideration. After all of those persons wishing to speak have done so, the hearing will be closed and the matter will be discussed amongst the Commission prior to rendering a decision.

**NOTE FOR VIDEOCONFERENCE MEETINGS:** Public comments may be submitted to Planning Staff before or during the meeting via email [ghanham@ci.pinoles.ca.us](mailto:ghanham@ci.pinoles.ca.us). Comments received before the close of the item will be read into the record and limited to 3 minutes. Please include your full name, city of residence and agenda item you are commenting on.

Any person may appeal an action of the Planning Commission or of the Planning Manager by filing an appeal with the City Clerk, in writing, within ten (10) days of such action. Following a Public Hearing, the City Council may act to confirm, modify or reverse the action of the Planning Commission and the Planning Commission may act to confirm, modify, or reverse the action of the Planning Manager. The cost to appeal a decision is \$500 and a minimum \$2,500 deposit fee.

**Note:** If you challenge a decision of the Commission regarding a project in court, you may be limited to raising only those issues you or someone else raised at the public hearing or in writing delivered to the City of Pinole at, or prior to, the public hearing.

**A. CALL TO ORDER**

**B. PLEDGE OF ALLEGIANCE AND ROLL CALL**

**C. CITIZENS TO BE HEARD:**

The public may address the Planning Commission on items that are within its jurisdiction and not otherwise listed on the agenda. Planning Commissioners may discuss the matter brought to their attention, but by State law (Ralph M. Brown Act), action must be deferred to a future meeting. Time allowed: five (5) minutes each.

**D1. CONSENT CALENDAR:**

All matters listed under the Consent Calendar are considered to be routine and non-controversial. These items will be enacted by one motion and without discussion. If, however, any interested party or Commissioner(s) wishes to discuss a consent item, it will be removed from the Consent Calendar and taken up in order after the last item under New Business.

**D2. MEETING MINUTES:**

1. Planning Commission Meeting Minutes from October 26, 2020
2. Planning Commission Meeting Minutes from October 27, 2020

**E. PUBLIC HEARINGS:**

At the beginning of an item, the Chair will read the description of that item as stated on the Agenda. The City Staff will then give a brief presentation of the proposed project. The Commission may then ask Staff questions about the item.

For those items listed as Public Hearings, the Chair will open the public hearing and ask the applicant if they wish to make a presentation. Those persons in favor of the project will then be given an opportunity to speak followed by those who are opposed to the project. The applicant will then be given an opportunity for rebuttal.

The Public Hearing will then be closed and the Commission may discuss the item amongst themselves and ask questions of Staff. The Commission will then vote to approve, deny, approve in a modified form, or continue the matter to a later date for a decision. The Chair will announce the Commission's decision and advise the audience of the appeal procedure.

**Note: No Public Hearings will begin after 11:00 p.m. Items still remaining on the agenda after 11:00 p.m. will be held over to the next meeting.**

**1. Design Review 20-06 New Two-Story Single Family Residence and Accessory Dwelling Unit on a Vacant Lot**

**Request:** Consideration of a design review request to construct an approximately 3,466 square foot two-story single family home, consisting of 2,131 square feet of living area, a 460 square foot two car garage, and an 875 square foot accessory dwelling unit, on a 6,087 square foot vacant lot in the R-1 district.

**Applicant:** Rogelio and Maria Del Toro  
651 40th St  
Richmond, CA 94805

**Location:** 472 Limerick Road (APN: 403-500-020)

**Planner:** Justin Shiu

**F. OLD BUSINESS:**

None

**G. NEW BUSINESS:**

- 1. Discussion of Planning Commission Outreach Approaches**
- 2. Old Town Design Guidelines**
- 3. Planning Commissioners Academy Takeaways**

H. **CITY PLANNER'S/COMMISSIONER'S REPORT:**

1. Verbal Updates of Projects

I. **COMMUNICATIONS:**

J. **NEXT MEETING:**

Planning Commission Regular Meeting, December 14, 2020 at 7:00PM

K. **ADJOURNMENT**

**POSTED: November 24, 2020**

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David Hanham  
Planning Manager

1 **DRAFT**

2  
3 **MINUTES OF THE REGULAR MEETING**  
4 **PINOLE PLANNING COMMISSION**

5  
6 **October 26, 2020**

7  
8 **DUE TO THE STATE OF CALIFORNIA'S DECLARATION OF EMERGENCY – THIS**  
9 **MEETING WAS HELD PURSUANT TO AUTHORIZATION FROM GOVERNOR**  
10 **NEWSOM'S EXECUTIVE ORDERS – CITY COUNCIL AND COMMISSION MEETINGS**  
11 **WERE NO LONGER OPEN TO IN-PERSON ATTENDANCE. THE MEETING WAS**  
12 **HELD VIA ZOOM TELECONFERENCE.**  
13

14  
15 **A. CALL TO ORDER: 7:05 P.M.**

16  
17 **B. PLEDGE OF ALLEGIANCE AND ROLL CALL**

18  
19 Commissioners Present: Flashman, Moriarty, Murphy, Wong, Chair Kurrent

20  
21 Commissioners Absent: Ojeda

22  
23 Staff Present: David Hanham, Planning Manager  
24 Justin Shiu, Contract Planner  
25 Alex Mog, Assistant City Attorney  
26

27 **C. CITIZENS TO BE HEARD**

28  
29 Planning Manager David Hanham reported no comments had been received via  
30 e-mail to be read into the record.  
31

32 **D. CONSENT CALENDAR**

33  
34 1. Planning Commission Meeting Minutes from September 28, 2020

35  
36 **MOTION** to adopt the Planning Commission Meeting Minutes from September 28,  
37 2020 as submitted.

38  
39 **MOTION: Flashman      SECONDED: Moriarty      APPROVED: 5-0-1**  
40 **ABSENT: Ojeda**

41  
42 **E. PUBLIC HEARINGS:**  
43  
44  
45

1       **1.     Design Review DR17-10, Tentative Parcel Map TSM17-01,**  
2       **Development Agreement DA17-01:     Four new single-family**  
3       **residences, four-lot subdivision, and Development Agreement for**  
4       **public improvements.**

5  
6       **Request:**     Consideration of a Design Review, Tentative Parcel Map, and  
7                       Development Agreement request to develop the vacant lot at  
8                       the end of Hazel Street. The project proposes the subdivision  
9                       of the lot into four new parcels, development of a single-family  
10                      residence on each new parcel, and execution of a Development  
11                      Agreement to make public improvements, including the  
12                      extension of Hazel Street. *(Continued from the Planning*  
13                      *Commission meeting on August 24, 2020)*

14  
15       **Applicant:**   Baljit Dhaliwal  
16                       1068 Turquoise Drive  
17                       Hercules, CA 94547

18  
19       **Location:**   Hazel Street (APN: 402-013-060 and -061)

20  
21       **Planner:**     David Hanham

22  
23       Commissioner Murphy reported he would recuse himself from participating in the  
24       discussion due to a potential conflict of interest. He asked the Assistant City Attorney  
25       to provide clarification.

26  
27       Assistant City Attorney Alex Mog explained that the item would be a recommendation  
28       from the Planning Commission to the City Council. A Development Agreement (DA)  
29       was part of the item which required approval via an ordinance and two public  
30       hearings before the City Council for a first and second reading. As a result and due  
31       to the timing of when those meeting dates may occur, which could occur after  
32       Commissioner Murphy had been appointed to the City Council, Commissioner  
33       Murphy had decided not to participate in the discussion.

34  
35       Mr. Hanham provided a PowerPoint presentation of the staff report dated October  
36       26, 2020, and recommended the Planning Commission adopt Resolution 2020-18  
37       recommending approval to the City Council for Design Review (DR 17-10), Tentative  
38       Parcel Map (TSM 17-01), and Development Agreement (DA 17-01). The DA was  
39       currently in draft form and still under negotiation by the parties involved. The final DA  
40       would be submitted to the City Council. If there were any significant changes to the  
41       DA based on the language and/or terms of the DA, it would have to come back to the  
42       Planning Commission prior to submittal to the City Council.

43  
44       Responding to the Commission, Mr. Hanham and Mr. Mog clarified the following:  
45

- An illustrative streetscape had not been provided although elevations had been provided to illustrate what the homes would look like, as included in the staff report.
- Curbs and gutters would be included as part of the project, although the project had no responsibility for any improvements on the other side of the street from the project site.
- There were some discrepancies between the colored renderings as compared to the submitted plans which should be clarified by the applicant.
- Acknowledged a request that all renderings for a project be provided for future Development Review Subcommittee meetings.
- The prior application proposed in 2007 (as detailed in the staff report) involved a three-lot subdivision which had been designed differently, denied by the Planning Commission at that time, and after review by the City Council had been remanded back to the Planning Commission to meet certain criteria.
- The minimum lot size in the Low Density Suburban Residential District in the City of Pinole was 5,000 square feet.
- The DA would be in good standing for up to ten years (a standard time period) given the development, different infrastructure improvements required and associated costs involved, unless brought back to the Planning Commission or the City Council for review. Staff acknowledged it could take up to ten years to build the project but understood the applicant was motivated to move forward.
- The applicant would be required to pay a storm drain fee but not pay for the construction of the storm drain and pump station which would be a Capital Improvement Project (CIP).
- Any one of the four homes could be identified as an affordable unit to be locked in at the time the City finalized its affordable agreement with the developer.
- Two live oak trees were to be preserved, although one located farther north on the property was to be removed due to root rot at the recommendation of the project arborist, with the other live oak to remain. Walnut trees located at the back of the site would be preserved.
- As a condition of approval and as part of the dedication of the Tentative Parcel Map for the project the private drive would be dedicated to the City with the City to have the easement and right-of-way (ROW).

- Pursuant to Condition of Approval 28 (A) of Exhibit A to the staff report, building construction activities shall occur only between 7:00 A.M. and 5:00 P.M., Monday through Friday on non-federal holidays. Interior construction work may occur between 9:00 A.M. and 6:00 P.M. on weekends if requested and approved by the City, as allowed under Chapter 15.02 of the Pinole Municipal Code (PMC).

## PUBLIC HEARING OPENED

Jagjeet Dhaliwal, 1068 Turquoise Drive, Hercules, speaking on behalf of her parents, responded to concerns that the project could take up to ten years to complete. She emphasized the intent to complete the project as soon as possible consistent with City codes and requirements. She otherwise commented that staff had covered the project in the staff presentation and the applicant had no further comments.

The following speakers submitted written comments via email that were read into the record, to be filed with the agenda packet for this meeting: **Rafael Menis, Duane Jones, Subhana Ansari, Francesca Delgado-Jones and Don McKinney.**

## REBUTTAL:

Ms. Dhaliwal clarified the issue of the extension of Hazel Street, a through street versus a private road, which issue had been raised early in the process and which was part of the development of the storm drain and the need for a through street to address firefighting safety concerns. The extension of Hazel Street had been a request of the City of Pinole and the Pinole Fire Department, not the Dhaliwal Family. Also, while the home sizes may appear small, the lots would be 6,000 square feet in size and the homes would not appear to be tract homes.

Ms. Dhaliwal explained that the Dhaliwal Family had initially requested one, two and then three homes, and over time in discussions with the City the request had ended up with four homes, necessary given the required infrastructure improvements.

## PUBLIC HEARING CLOSED

Mr. Hanham clarified that the Hazel Street extension had been at the request of the City since Hazel Street was a through street in the General Plan and not a dead-end street. Due to the infrastructure needs and the pump station, and since Parcel No. 59 must go across the Dhaliwal property to reach the driveway for Lot No. 59, Parcel No. 60 travelled all the way across property on Parcel No. 59, and since the Dhaliwals could technically block that property since it lacked an easement to the property, those were other reasons for the City to request the Hazel Street extension. The Hazel Street extension was also considered a clean-up item for the City requiring the Dhaliwals to add additional lots to help pay for some of the improvements. He acknowledged the City had opposed the three-lot subdivision proposal since it had



1 included a driveway that came up and in, preventing the completion of all the storm  
2 drain improvements in the road.

3  
4 Mr. Hanham again detailed the history of the project which had led to the current  
5 iteration and lot sizes, with more than enough area to accommodate the proposed  
6 lots, and with the project meeting all City setback and development standards.

7  
8 The Planning Commission discussed DR17-10, TSM17-01, and DA17-01 and  
9 offered the following comments and/or direction to staff:

- 10  
11 • Sympathized with the neighbors' concerns with the potential for an increase  
12 in traffic and noise levels; clarified with staff regarding Condition 7 that the  
13 applicant was not permitted to build an impervious driveway that covered 40  
14 percent of the front yard; clarified that Condition 10 reflected the City's recent  
15 approval of an ordinance which matched the State Water Efficient Landscape  
16 Ordinance requirements; recommended the last sentence of Condition 11  
17 be revised since, as worded, it could make it too easy to lose trees on the  
18 property and recommended verbiage similar to conditions imposed for the  
19 Dr. Lee Optometry project; and suggested the proposed lot sizes would be  
20 sufficient. (Moriarty)

21  
22 The Planning Commission discussed Condition 11 related to tree protection under  
23 the City's Tree Ordinance and compared the proposed project to the Dr. Lee  
24 Optometry project at length. By consensus, the Planning Commission revised the  
25 last sentence of Condition 11, to read:

26  
27 *Any revisions to tree protection and tree removal details described in the*  
28 *arborist reports shall be submitted to the Planning Manager for review prior*  
29 *to work affecting trees in the field consistent with Pinole Municipal Code*  
30 *Chapter 17.96.*

31  
32 Chair Kurrent and Commissioner Flashman briefed the Planning Commission on  
33 their discussions during the Development Review Subcommittee meeting which  
34 included concerns with a left-side half window on Lot 2 that did not appear to be  
35 symmetrical, the darkness of the proposed blue color for Lots 1 and 2 that had been  
36 found to be out of sync with the other homes, and a desire for renderings of the  
37 homes next to one another that had not been provided.

- 38  
39 • The intent for the left-side window for Lot 2 was confirmed by the applicant,  
40 with the intent to build a canopy to create a shadow and overhang on top of  
41 the window which would be a full window, and while not shown on the at-street  
42 elevation that would be corrected on the plans. Concern was expressed that  
43 the proposed lots would be smaller in size, and while some lots in the area  
44 would be comparable in size the community was concerned with the size of  
45 the homes given that the project would be a change in the community and

1 there was a need for green space and parks. Expressed concern the  
2 proposed development would effectively remove what had been considered  
3 green space in the community. (Flashman)  
4

- 5 • Found the size of the lots to be consistent and comparable with other lot sizes  
6 in the area; recognized the concerns with the size of the homes but also  
7 recognized the need to provide housing; and while the lots may be smaller in  
8 size than others on the street suggested they would be sufficient in size.  
9 (Kurrent)  
10
- 11 • Clarified with staff that Lots 60 and 61 were owned by the applicant and the  
12 property had been used as green space by the community but it was private  
13 property that could be fenced to prevent trespassing. If the project was  
14 ultimately not approved by the City Council encouraged the City Council to  
15 consider purchasing the property to be used as a park. Would have opposed  
16 the project if considered for the north side of Hazel Street given the lots on the  
17 north side were 10,000 square feet in size or more while the homes on the  
18 south side of Hazel Street were between 5,500 and 8,000 square feet in size.  
19 Did not support the building colors, such as the dark blue, and supported  
20 another alternative. If the project was not approved by the City Council there  
21 was concern the area could be impacted by flooding if the storm drain  
22 infrastructure was not repaired and the City could be held liable. The project  
23 offered an opportunity for the applicant to develop the land, the City to address  
24 long-standing issues, and while the community concerns with crime and traffic  
25 were acknowledged they had not been supported by data from the Pinole  
26 Police Department. Suggested the applicant had addressed the City's  
27 requirements. (Wong)  
28

29 On the question of whether the City would be responsible for the storm drain  
30 improvements if the City Council ultimately denied the project, Mr. Hanham explained  
31 that would have to be prioritized by the City Council in the CIP with funds to be set  
32 aside. He reiterated the project lent itself for that work to be completed faster.  
33

- 34 • The Pinole Municipal Code (PMC) required each of the lots to have one  
35 enclosed parking space and one non-enclosed parking space on the property,  
36 and the units met that requirement. Opening the north side of the new Hazel  
37 Street would provide additional parking for the neighborhood and there should  
38 be no parking concern, and the reasons for extending Hazel Street had been  
39 adequately addressed by staff. (Kurrent)  
40

41 Mr. Hanham confirmed that the project would have to be wired for solar panels but  
42 the installation of solar panels was not required. At this time, he advised an additional  
43 public comment had been received after the close of the public hearing and it was at  
44 the discretion of the Chair whether to re-open the public hearing.  
45

1 Chair Kurrent re-opened the public hearing at this time.

2  
3 Mr. Hanham read into the record additional public comment received via e-mail after  
4 the close of the public hearing from **Subhana Ansari** to be filed with the agenda  
5 packet for this meeting  
6

7 In response to the most recent public comment, Mr. Hanham and Mr. Mog confirmed  
8 that there had been no mention of endangered species in the environmental  
9 documents.  
10

11 Ms. Dhaliwal reiterated the background of the Hazel Street extension; the full window  
12 design for Lot 2 had been clarified and the plans would be corrected; the dark blue  
13 color for two of the lots had come from a recommendation made by a previous  
14 committee, although the color could be changed back to be more muted; and the  
15 property had been offered to the City as green space in the past but the City had not  
16 accepted that offer. The property owners had owned the property for more than a  
17 decade and had experienced illegal dumping, illegal trespassing, and an open storm  
18 drain. The desire was to develop the property to clean it up and make it safer for the  
19 surrounding community.  
20

21 Chair Kurrent re-closed the public hearing.  
22

23 **MOTION** by a Roll Call Vote to adopt Resolution 20-18, a Resolution of the City of  
24 Pinole Planning Commission Recommending Approval to the City of Pinole City  
25 Council for a Tentative Parcel Map, Comprehensive Design Review and a  
26 Development Agreement Located at the South Side of the Western Terminus of  
27 Hazel Avenue (APN 402-013-060 and 061), subject to Exhibit A: Planning  
28 Commission Resolution 20-18, Conditions of Approval, and subject to a  
29 modification to Condition 11, as follows:  
30

31 Revise the last sentence to read:  
32

33 *Any revisions to tree protection and tree removal details described in the*  
34 *arborist reports shall be submitted to the Planning Manager for review prior*  
35 *to work affecting trees in the field consistent with Pinole Municipal Code*  
36 *Chapter 17.96.*  
37

38 **MOTION: Wong**

**SECONDED: Moriarty**

**APPROVED: 4-0-2**

**RECUSED: Murphy**

**ABSENT: Ojeda**

41  
42 Chair Kurrent identified the 10-day appeal period of a decision of the Planning  
43 Commission in writing to the City Clerk.  
44

45 Commissioner Murphy returned to the meeting via Zoom.  
46

1           **2.     Design Review DR 19-14, Conditional Use Permit CUP 19-09: Artisanal**  
2           **Garden: Outdoor Artisan and Vendor Space**

3  
4           **Request:**     Consideration of a Design Review and Conditional Use Permit  
5                           request to make site improvements for an outdoor seating  
6                           space with fencing, a small structure, and a trash enclosure  
7                           redesign and to provide for hosting of artisan displays, events,  
8                           music, and food vendors, at 2337 San Pablo Avenue in the  
9                           CMU District *(Continued from the Planning Commission*  
10                          *meeting on February 24, 2020)*

11  
12           **Applicant:**   Raquel Contreras  
13                           714 Walker Avenue  
14                           Oakland, CA 94610

15  
16           **Location:**   2337 San Pablo Avenue (APN: 401-162-002)

17  
18           **Planner:**     Justin Shiu

19  
20           Commissioner Flashman reported she would recuse herself from the discussion of  
21           the item due to a potential conflict of interest.

22  
23           Contract Planner Justin Shiu provided a Power Point presentation of the October 26,  
24           2020 staff report, and noted that after the applicant's materials had been reviewed  
25           and prepared, the applicant had requested a revision to Condition 15, Live Music  
26           Schedule, as shown in Exhibit A to Resolution 20-01. The requested revision was to  
27           expand the approval of music on the site from 20 days per year to 30 days per year,  
28           with the Sunday hours to be revised from 12:00 P.M. to 4:00 P.M, to *12:00 P.M. to*  
29           *8:00 P.M.* The Planning Commission was asked to consider the request.

30  
31           Mr. Shiu recommended the Planning Commission adopt Resolution 20-01, subject  
32           to the conditions of approval contained in Exhibit A, approving Design Review 19-  
33           14 and Conditional Use Permit 19-09, and a Similar Use Determination for  
34           development of an outdoor artisan and vendor space at 2337 San Pablo Avenue.

35  
36           Responding to the Commission Mr. Shiu and Mr. Hanham clarified:

- 37  
38
  - 39           • Hours of operation for special events had not been specified in the conditions  
40           of approval, and while the applicant had indicated themes throughout the year  
41           no specific event hours of operation had been identified. Special events not  
42           listed in the schedule would have to be approved by the Planning Manager  
43           pursuant to Condition 5 of Exhibit A to Resolution 20-01.
  - 44           • The conditions of approval submitted to the Planning Commission initially in  
45           February 2020 when the project had first been considered included a

1 condition limiting the use of amplified music, and Condition 16 had been a  
2 carryover condition. The current proposal included a request for amplified  
3 music which could require a modification to the conditions of approval.  
4

- 5 • The Old Town Design Guidelines had not been considered for the subject  
6 project. Staff had relied on the Three Corridors Specific Plan when reviewing  
7 the design.  
8
- 9 • Bicycle racks had not been included on the conceptual site plan but would be  
10 required as part of the building plans pursuant to Condition 30. A minimum of  
11 two bicycle racks would be required for a commercial property but could be  
12 discussed further by the Planning Commission.  
13
- 14 • The applicant would be required to identify the location for take-out waste  
15 disposal and recycling, and to plan how much waste could be removed from  
16 the site and the volume that could be recycled.  
17
- 18 • Proposed trees on-site and the types of vendors to be clarified by the  
19 applicant.  
20
- 21 • There was an existing Porta Potty on the site and additional facilities could be  
22 made available, if needed, to be open only during operations when the site  
23 was in use.  
24
- 25 • The Pinole Noise Ordinance did not specify a decibel level and was subjective  
26 as related to noise disturbances and what constituted a nuisance. Any issues  
27 with amplified music would be addressed via complaints during an event.  
28

## 29 PUBLIC HEARING OPENED 30

31 Raquel Contreras, 714 Walker Avenue, Oakland, advised that a representative from  
32 the Pacific Coast Farmers' Market Association and a representative from Kitchen at  
33 812 were also present via Zoom to respond to questions. She explained that the  
34 amplified music could be controlled, she had initially thought of using only acoustical  
35 music, but some musicians had amplified music and she had seen similar uses at  
36 other Farmers' Markets. She preferred that amplified music be allowed until 8:00  
37 P.M in the hopes she could create an ambience for the community. Due to COVID-  
38 19, she also planned to have take-out only in the next few months in order to get a  
39 feel for the business prior to bringing in tables and chairs.  
40

41 Ms. Contreras also reported she had been in contact with the Contra Costa County  
42 Environmental Health Department, which had suggested an agreement with an  
43 establishment such as the gasoline station across the street or someone within 200  
44 feet to allow a mobile vendor to use their restroom facilities as opposed to using Porta  
45 Potties, which would entail an agreement in writing. She had been in contact with

1 her neighbors regarding that issue, and had also been in discussions with the  
2 Farmers' Market to coordinate the Porta Potties and the use of cleaning services, as  
3 needed, at least twice a week.  
4

5 Ms. Contreras explained that she had planned to use palm trees in colorful pots, or  
6 Madrone, strawberry, or species that were native and drought tolerant. The intent  
7 was to have the trees in large pots that could be easily moved and arranged as  
8 needed. In terms of special events, she did not foresee large special events at this  
9 time due to COVID-19 restrictions, the size of the city of Pinole, and due to the  
10 competition from other cities. Her goal was to make the use effective in the  
11 neighborhood to bring people in, but be community based through word of mouth,  
12 and be self-sustaining. A wash station would be made available to facilitate the  
13 handling of food items.  
14

15 Waleska Ordonez, Kitchen at 812, a non-profit business incubator located in Pinole  
16 Shores, worked with entrepreneurs who wanted to formally operate a food business,  
17 and assisted those businesses in obtaining the required permits to operate. She  
18 explained that food vendors during a festival or Farmers' Market required a hand  
19 washing station inside the facility independent of the outside Porta Potty.  
20

21 Ben Palazzolo, Pacific Coast Farmers' Market Association, confirmed that all food  
22 vendors for on-site Farmers' Markets had the same requirement with enclosed  
23 certified kitchens and having a place for the staff to wash their hands with soap and  
24 water, and the bleaching of any kitchen utensils pursuant to the requirements of the  
25 Contra Costa Environmental Health Department.  
26

27 Ms. Ordonez added that if food trucks were allowed on-site, the food trucks would  
28 have to follow the Contra Costa County Environmental Health Department  
29 Guidelines and have hand sanitizing stations.  
30

31 Ms. Contreras advised that only certified mobile vendors from the Contra Costa  
32 Environmental Health Department would be permitted. She understood that  
33 temporary food vendors were not allowed in the City of Pinole at this time.  
34

35 Responding to the Commission, Ms. Contreras and Ms. Ordonez clarified that the  
36 business plan was close to a business called Off the Grid, a non-profit organization  
37 that found locations for food vendors such as food trucks. The closest business was  
38 located in the City of El Cerrito, which utilized a closed short street in that city to allow  
39 the activity and to allow walking around the downtown. There was a Beer Garden in  
40 the City of Berkeley but there were no plans to sell alcohol at this time.  
41

42 Ms. Contreras acknowledged a recommendation to increase the number of bicycle  
43 racks, and the concerns with the modern appearance of the use adjacent to Old  
44 Town. A small office/shed at the back of the site would provide a work station for her  
45 business. She had tried to tie the design of the shed in with the colors and slats of  
46 historic Victorian homes in Pinole and planned to bring in old bricks from a local

1 building to be incorporated into the design of her business. She was open to other  
2 ideas to maintain the historic presence of Pinole.

3  
4 Ms. Contreras clarified that there would be palm trees at the entrance to the site and  
5 she would be willing to plant a street tree to provide shade. The intent was to plant  
6 drought resistant plant material. She would also like to incorporate a light show  
7 during Christmas such as dancing and singing lights, as an example, something that  
8 would garner interest, and asked whether that would be permitted.

9  
10 Mr. Hanham understood there were no other palm trees in the downtown but staff  
11 could work with the applicant on the landscaping. In terms of lighting, depending on  
12 how the lights would be displayed would have to be reviewed by staff.

13  
14 Ms. Contreras asked whether or not she would be permitted to have a mobile vendor  
15 with a truck during the construction period given it may take some time for  
16 construction to be completed. She suggested the shed could take more time since  
17 she was working with the City regarding an easement.

18  
19 Mr. Hanham advised that staff would like to see construction almost completed prior  
20 to any mobile vendors brought in. He had reviewed the City code given the requests  
21 for mobile vendors in Pinole and could find no language that allowed or disallowed  
22 mobile vendors. Based on staff's perspective, the construction should be almost  
23 completed prior to bringing a vendor on-site since in the past there had been issues  
24 with construction taking longer to be completed because of the needs of a vendor.  
25 He would also like to see the tables and chairs installed prior to the siting of a mobile  
26 vendor.

27  
28 Ms. Contreras reiterated she planned to have take-out only in the next few months,  
29 and to get a feel of the business prior to bringing in tables and chairs but Mr. Hanham  
30 again advised of the staff opinion that no mobile vendors be allowed on-site prior to  
31 construction being near completion.

32  
33 Mr. Hanham recognized that it would be up to the Planning Commission to decide,  
34 but if allowed, he would recommend a stipulation be imposed that a certain amount  
35 of work must be completed prior to bringing a mobile vendor on-site.

36  
37 Ms. Contreras also clarified there were some light poles that were part of the existing  
38 easement which she planned to retain.

39  
40 Mr. Shiu read into the record Condition 18 as follows:

41  
42 *LIGHTING – The owner shall ensure that lighting is available on site during*  
43 *late-afternoon to evening hours and the entire lot has adequate lighting.*  
44 *Lighting equipment shall include shields to project light downward and to*  
45 *prevent light and glare impacts on adjacent properties and the right-of-way.*  
46 *The proposed lighting set-up locations, including portable lighting*

1                   *equipment, shall be identified in the final plan set for review by the Police*  
2                   *Department*  
3

4                   As to the signage proposed, Ms. Contreras clarified the top sign would be a bridge  
5                   sign with letters above reading *Casa Amada* and a presentation sign proposed to  
6                   give directions and show the guest of the day and the event being hosted, to consist  
7                   of an announcement identifying who was performing in the garden on that date. She  
8                   was thinking of using magnetic letters with a vinyl inset and with illumination in the  
9                   vinyl sleeve.

10  
11                   Mr. Shiu read into the record comments from **Ivette Rico** and **Rafael Menis**. (As  
12                   reflected in the February 24, 2020 Planning Commission meeting minutes).  
13

14                   Mr. Palazzolo explained that the applicant had reached out to the Pacific Coast  
15                   Farmers' Market Association about the application, and while they had some  
16                   concerns he was confident those concerns could be resolved. The Farmers' Market  
17                   operated from 9:00 A.M. to 1:00 P.M. every Saturday, vendors arrived two hours  
18                   before and left an hour after closure for clean-up. As long as no one was driving into  
19                   the adjacent parcel during the hours of the Farmers' Market there should be no issue.  
20                   The Farmers' Market operated many markets throughout the Bay Area, and  
21                   oftentimes other uses such as Off the Grid operated in the same market spaces but  
22                   at different times, which had helped the success of the Farmers' Market. Any  
23                   activation, cultivation of local ownership, and participation worked out well for the  
24                   Farmers' Market. While traffic and crowd concerns were relevant, the plot was small  
25                   and he did not see a lot of people would gather. He saw the application an added  
26                   feature to the space. He suggested the business would not create a significant  
27                   impact beyond what the Farmers' Market did.

28  
29                   PUBLIC HEARING CLOSED  
30

31                   The Planning Commission discussed DR 19-14 and CUP 19-09 and offered the  
32                   following comments and/or direction to staff:  
33

- 34                   • Supported the project and the opportunities it would provide. (Wong)
- 35  
36                   • Supported the project but recommended the conditions related to Special  
37                   Events be modified to cap the time for such events or allow the Planning  
38                   Division to make that call. Would like more discussion on whether Condition  
39                   15 should be modified subject to the applicant's requested modifications;  
40                   referencing Condition 27, encouraged the applicant to use native plant  
41                   material as much as possible; referencing Condition 30, recommended the  
42                   condition be revised to provide parking for at least five bicycles; encouraged  
43                   the applicant to consider the lettering style from the Pinole Bank Building to  
44                   tie the uses together and consider the color scheme of the adjacent building  
45                   to ensure compatibility with the historical nature of Old Town Pinole. (Moriarty)



- While intrigued by the idea of the project there was uncertainty as to how the health issues, amplified music, sanitation, and special events would work. Would like to see an additional condition to require review of the conditions of approval after a year of operation to determine the use was operating appropriately and whether or not any conditions must be modified. Recommended a new Condition 43 to read: *These conditions of approval shall be brought back for review before the Planning Commission in one year to review the adequacy of the Conditional Use Permit and possible modification.* Agreed that Condition 30 be revised to provide more bicycle parking which could be reviewed in a year to ensure adequacy; and recommended formation of a subcommittee to work with the applicant on the design of the lettering for signage. (Kurrent)

Mr. Hanham suggested as an option an additional condition could be added, to read:

*In one year this item will be brought back to the Planning Commission to re-establish times and number of events.*

Mr. Hanham added that by law all vendors were required to be certified prior to events. He recommended the applicant be allowed to have a year to make this happen with only four special events this year, with the new condition to allow staff the opportunity to reassess based on how the business had operated during that time. He recognized this would be a new use in Pinole and due to the ever changing events, staff would defer to the applicant to ensure they were doing the right thing, with any issues to be complaint driven, although spot checking could be done throughout the year via code enforcement.

By consensus, the Planning Commission supported the additional condition given the new type of use and to offer an opportunity for the applicant and the City to work collaboratively.

Ms. Contreras expressed concern with additional conditions since the business must be self-sustaining and attractive to the vendors.

Mr. Hanham understood the concerns but clarified the intent to allow the business to operate in the first year subject to the conditions of approval with a review after the first year. It was not an attempt to impose additional fees on the applicant other than the payment of the annual business licenses fees. He also clarified the City's definition of a "special event" was different than the County Environmental Health Department's, which had defined special events as a "gathering".

- Supported the project but asked that it be consistent with the rest of the structures in Old Town Pinole in terms of events and the appearance of the shed structure itself. (Murphy)

1  
2 By consensus, the Planning Commission discussed a number of the conditions and  
3 offered the following modifications:

- 4  
5 • Condition 15 revised to read:

6  
7 *LIVE MUSIC SCHEDULE – The site may have live music no more than 30*  
8 *days per year, with no more than three days per month, and only within the*  
9 *following timeframes: Fridays – 5:00 P.M. to 8:00 P.M.; Saturdays – 5:00*  
10 *P.M. to 9:00 P.M.; Sundays – 12:00 P.M. to 8:00 P.M.*

11  
12 As to the request for amplified music, Chair Kurrent preferred the applicant work with  
13 the Planning Manager as to what was acceptable.

14  
15 Mr. Hanham expressed the willingness to work with the applicant to create  
16 acceptable and reasonable language for Condition 16, with the Planning  
17 Commission to be apprised of the discussions.

- 18  
19 • Condition 16 to be retained at this time with the applicant to work with staff on  
20 a possible modification.  
21  
22 • Condition 27 was not modified but the applicant was encouraged to use native  
23 plant material as much as possible.  
24  
25 • Condition 30 revised to read:

26  
27 *BICYCLE PARKING – The applicant shall identify areas to accommodate*  
28 *parking of at least five bicycles and clearly identify these locations with*  
29 *markers or signs on site.*

30  
31 In response to concerns with the shed's appearance, Ms. Contreras emphasized the  
32 temporary nature of the shed. She was more than happy to work with the City but if  
33 she were to be confined to the appearance of the adjacent building or the buildings  
34 across the street, would be a concern given the numerous styles in the area. She  
35 asked that the conditions not be so restrictive making the garden more historical and  
36 less a garden. She suggested the historical elements could be realized through  
37 letters or pottery. She also opposed the formation of a subcommittee which could be  
38 difficult for the applicant.

39  
40 Planning Commissioners clarified the discussion was about the frontage along San  
41 Pablo Avenue, and Ms. Contreras suggested planting different material or using  
42 pebbles or other design elements to address that concern.

43  
44 There was no consensus for a subcommittee to be formed. Concerns were  
45 expressed with the frontage along San Pablo Avenue given there had been some

1 issues in the past with inconsistencies of design in Old Town Pinole. There was a  
2 desire from some Planning Commissioners for the project design to use some of the  
3 design aesthetics from the Pinole Bank Building.  
4

5 Chair Kurrent reported that Commissioner Wong was no longer present via Zoom.  
6 Commissioner Wong had messaged the Chair via telephone reporting that he  
7 needed to leave the Zoom meeting due to an emergency, and while he supported  
8 the project he could not be present to vote.  
9

10 Mr. Mog advised that Commissioner Wong needed to rejoin the meeting for there to  
11 be a Planning Commission quorum. Absent a quorum the meeting must be  
12 adjourned and the application continued to the next meeting.  
13

14 On the discussion, Mr. Hanham reported Commissioner Ojeda was no longer a  
15 Planning Commissioner, new Planning Commissioners had yet to be appointed by  
16 the City Council, but staff anticipated new Planning Commissioners would be  
17 appointed in time for the December 2020 or January 2021 meetings.  
18

19 Given the inability to reach Commissioner Wong to rejoin the meeting, and due to  
20 the lack of a quorum, Mr. Mog confirmed the Planning Commission meeting would  
21 have to be adjourned to a date certain when there would be a quorum. A Notice of  
22 Adjournment with the new date of the hearing would be posted on the City's website.  
23

24 By consensus, members of the Planning Commission currently present determined  
25 to continue Design Review DR 19-14 and Conditional Use Permit CUP 19-09 for the  
26 Artisanal Garden to an adjourned meeting of the Planning Commission scheduled  
27 for Tuesday, October 27, 2020 at 8:00 P.M. The remaining agenda items would be  
28 continued to the next meeting of the Planning Commission scheduled for November  
29 30, 2020.  
30

31 Chair Kurrent apologized to the applicant for the inability to finalize the application at  
32 this time.  
33

34 **F. OLD BUSINESS:** None

35 **G. NEW BUSINESS:**

36 **1. General Plan/Specific Plan Information Session: Growth Management**  
37

38 The item was continued to the Planning Commission meeting on November 30,  
39 2020.  
40

41 **H. CITY PLANNER'S / COMMISSIONERS' REPORT**

42 **1. Verbal Updates of Projects**  
43  
44  
45  
46

1 The item was continued to the Planning Commission meeting on November 30,  
2 2020.

3  
4 **I. COMMUNICATIONS:** None

5  
6 **J. NEXT MEETING**

7  
8 The next meeting of the Planning Commission to be a Regular Meeting to be held  
9 on Monday, November 30, 2020 at 7:00 P.M.

10  
11 **K. ADJOURNMENT:** *Meeting adjourned at 11:06 P.M due to the lack of a quorum*  
12 *and to an Adjourned Meeting of the Planning Commission scheduled for Tuesday,*  
13 *October 27, 2020 at 8:00 P.M.*

14  
15 Transcribed by:

16  
17  
18 Sherri D. Lewis  
19 Transcriber

1 **DRAFT**

2  
3 **MINUTES OF THE SPECIAL MEETING**  
4 **PINOLE PLANNING COMMISSION**

5  
6 **October 27, 2020**

7  
8 **DUE TO THE STATE OF CALIFORNIA'S DECLARATION OF EMERGENCY – THIS**  
9 **MEETING WAS HELD PURSUANT TO AUTHORIZATION FROM GOVERNOR**  
10 **NEWSOM'S EXECUTIVE ORDERS – CITY COUNCIL AND COMMISSION MEETINGS**  
11 **WERE NO LONGER OPEN TO IN-PERSON ATTENDANCE. THE MEETING WAS**  
12 **HELD VIA ZOOM TELECONFERENCE.**  
13

14  
15 **A. CALL TO ORDER: 8:10 P.M.**

16  
17 **B. PLEDGE OF ALLEGIANCE AND ROLL CALL**

18  
19 Commissioners Present: Flashman, Moriarty, Murphy, Wong, Chair Kurrent

20  
21 Commissioners Absent: None

22  
23 Staff Present: David Hanham, Planning Manager  
24 Justin Shiu, Contract Planner  
25 Alex Mog, Assistant City Attorney  
26

27 **C. CITIZENS TO BE HEARD**

28  
29 Planning Manager David Hanham reported no comments had been received via  
30 e-mail to be read into the record.  
31

32 **D. CONSENT CALENDAR: None**

33  
34 **E. PUBLIC HEARING:**

35  
36 **1. Design Review DR 19-14, Conditional Use Permit CUP 19-09: Artisanal**  
37 **Garden: Outdoor Artisan and Vendor Space**

38  
39 **Request:** Consideration of a Design Review and Conditional Use Permit  
40 request to make site improvements for an outdoor seating  
41 space with fencing, a small structure, and a trash enclosure  
42 redesign and to provide for hosting of artisan displays, events,  
43 music, and food vendors, at 2337 San Pablo Avenue in the  
44 CMU District *(Continued from the Planning Commission*  
45 *meeting on February 24, 2020 and the Planning Commission*

meeting of October 26, 2020)

**Applicant:** Raquel Contreras  
714 Walker Avenue  
Oakland, CA 94610

**Location:** 2337 San Pablo Avenue (APN: 401-162-002)

**Planner:** Justin Shiu

Commissioner Flashman reported she would recuse herself from the discussion of the item due to a potential conflict of interest.

Chair Kurrent advised this was a continuation of the adjourned Planning Commission meeting of October 26, 2020, in order to complete the consideration of the item since there had not been a quorum during the October 26, 2020 meeting.

During the October 26 meeting, the Planning Commission had discussed the project, particularly the conditions of approval contained in Exhibit A to Resolution 20-01. There had been Planning Commission consensus to take the following actions:

- Revise Condition 15 to read:

*LIVE MUSIC SCHEDULE – The site may have live music no more than 30 days per year, with no more than three days per month, and only within the following timeframes: Fridays – 5:00 P.M. to 8:00 P.M.; Saturdays – 5:00 P.M. to 9:00 P.M.; Sundays – 12:00 P.M. to 8:00 P.M.*

- Add a new Condition 43 to read:

*These conditions of approval shall be brought back for review before the Planning Commission in one year to review the adequacy of the Conditional Use Permit and possible modification.*

- Revise Condition 30 to read:

*BICYCLE PARKING – The applicant shall identify areas to accommodate parking of at least five bicycles and clearly identify these locations with markers or signs on site.*

**MOTION** by a Roll Call Vote to adopt Resolution 20-01, A Resolution of the Planning Commission of the City of Pinole, County of Contra Costa, State of California, Approving a Design Review Request (DR19-14) and Conditional Use Permit (CUP19-09), and Making a Similar Use Determination, to Make Site Improvements for an Outdoor Seating Space with Fencing, A Small Structure, and a Trash

1 Enclosure Redesign and to Provide for Hosting of Artisan Displays, Events, Vendors  
2 and Food Vendors On an Approximately 4,140 Square Foot Vacant Lot in the CMU  
3 Zoning District at 2337 San Pablo Avenue, APN: 401-162-002, subject to the  
4 conditions of approval as shown in Exhibit A, and modified as follows:  
5

- 6 • Revise Condition 15 to read:

7  
8 LIVE MUSIC SCHEDULE – The site may have live music no more than 30  
9 days per year, with no more than three days per month, and only within the  
10 following timeframes: Fridays – 5:00 P.M. to 8:00 P.M.; Saturdays – 5:00  
11 P.M. to 9:00 P.M.; Sundays – 12:00 P.M. to 8:00 P.M.  
12

- 13 • Add a new Condition 43 to read:

14  
15 These conditions of approval shall be brought back for review before the  
16 Planning Commission in one year to review the adequacy of the Conditional  
17 Use Permit and possible modification.  
18

- 19 • Revise 30 to read:

20  
21 BICYCLE PARKING – The applicant shall identify areas to accommodate  
22 parking of at least five bicycles and clearly identify these locations with  
23 markers or signs on site.  
24

25 **MOTION: Moriarty**

**SECONDED: Murphy**

**APPROVED: 4-0-1**  
**ABSTAIN: Flashman**

26  
27  
28 Chair Kurrent identified the 10-day appeal period in writing to the City Clerk.  
29

30 Commissioner Flashman returned to the discussion.  
31

32 **F. OLD BUSINESS:** None

33  
34 **G. NEW BUSINESS:** None

35  
36 **H. CITY PLANNER'S / COMMISSIONERS' REPORT**

37  
38 **1. Verbal Updates of Projects**

39  
40 Mr. Hanham reported that building permits had increased; staff had received an  
41 application for Design Review and a Conditional Use Permit for a 20-unit  
42 apartment building and Professional Business Office expansion at 2801 Pinole  
43 Valley Road; staff was still working with the potential applicants for Pinole Vista for  
44 approximately 200 units; DeNova Homes was considering the Making Waves  
45 property for another approximate 160 units; and he had no new information on the

1 status of Pinole Woods.

2  
3 Mr. Hanham reported that Dr. Lee's Office was under construction and staff had  
4 spoken with Dr. Lee's landscaper who was preparing an updated landscaping plan.  
5 Whatever was agreed upon with the City as part of the tree removal process would  
6 have to be completed prior to occupancy of the building. Staff had also met with  
7 the City Council Subcommittee regarding consideration of a Historic Preservation  
8 Ordinance and potential Overlay District; and the City Council was in the process  
9 of appointing a new Planning Commissioner who staff hoped would be present for  
10 the next Planning Commission meeting.

11  
12 Chair Kurrent asked of Commissioner Ojeda's status, and Mr. Hanham reported  
13 Commissioner Ojeda had resigned a few weeks ago, his term had expired on April  
14 30, 2020 but he had remained on the Planning Commission due to the COVID-19  
15 pandemic. Staff was aware of the vacancies on the Planning Commission and the  
16 need to continue recruitment efforts.

17  
18 Chair Kurrent commented that the Making Waves property was better known as  
19 the Doctor's Hospital property and suggested any reference to the property should  
20 be so identified.

21  
22 Raquel Contreras, the applicant for Item E1, joined the Planning Commission at  
23 this time. She thanked the Planning Commission for the approval of the project.

24  
25 Commissioner Moriarty inquired whether staff had compared the proposed future  
26 housing units referenced by staff to the City's Regional Housing Needs Allocation  
27 (RHNA) requirements, and Mr. Hanham advised that all of the projects would have  
28 an affordability factor which would go towards the City's RHNA for Low Income,  
29 and since they were multi-year projects they would carry over into the next RHNA  
30 cycle.

31  
32 Commissioner Moriarty was pleased staff had spoken with the landscaper for Mr.  
33 Lee's Office and she clarified with staff that Condition 54 for the project required a  
34 tree ratio replacement of 2:1. She wanted assurance there would be trees on the  
35 property or a mitigation fee imposed, and Mr. Hanham clarified two large trees  
36 could be accommodated on-site, with the requirement of six other trees to be  
37 addressed through payment into the tree mitigation fund. Dr. Lee was aware that  
38 eight trees had been required to be planted in replacement of trees removed, but  
39 not all of the trees could be accommodated on-site. Any concerns from the public  
40 regarding the trees could be addressed by contacting staff via telephone or e-mail.

41  
42 Commissioner Moriarty inquired of the status of the Pinole Square project and was  
43 informed by Mr. Hanham the developer was in the process of earth work, removal  
44 and replacement of soil, and other items, with no pending issues before the  
45 Regional Water Quality Control Board (RWQCB).



1 The developer was four to six months out from pulling building permits and staff  
2 had advised of the need to install required landscaping prior to that time.

3  
4 Commissioner Moriarty asked for consideration of a future agenda item to allow  
5 discussion of the Old Town Design Guidelines.

6  
7 Mr. Hanham explained that the Old Town Design Guidelines had been adopted in  
8 1997 as part of the 1995 General Plan Update which called for a Historic District  
9 Overlay. The Old Town Design Guidelines could be agendized for a future  
10 Planning Commission meeting but they had previously been adopted. The Old  
11 Town Design Guidelines could be posted on the City website and he understood  
12 Planning Commissioners had been provided electronic copies.

13  
14 Commissioner Flashman inquired of the status of the East Bay Coffee Company  
15 application and was informed by Mr. Hanham the applicant was trying to get by,  
16 had not reached out to staff, but he would get in touch with the applicant.

17  
18 Commissioner Flashman recommended consideration of a subcommittee or Ad  
19 Hoc Committee regarding community engagement, particularly during the COVID-  
20 19 pandemic where it was difficult for the community to engage with the Planning  
21 Commission on planning processes in the City. She asked how other communities  
22 had engaged the public during this time.

23  
24 Commissioner Moriarty found it would be a great idea with specific goals set,  
25 particularly since there would be engagement with the community related to the  
26 General Plan Update.

27  
28 Chair Kurrent acknowledged there would be community input as part of the  
29 Housing Element and General Plan Updates, which would offer the opportunity to  
30 engage the public.

31  
32 Assistant City Attorney Alex Mog suggested if this was something the Planning  
33 Commission desired to discuss in more detail it should be placed as an agenda  
34 item on the next meeting agenda.

35  
36 Chair Kurrent advised of the Planning Commission's consensus to place the item  
37 on a future agenda.

38  
39 Mr. Hanham suggested the item could be agendized for the next meeting. He  
40 would contact other jurisdictions to learn how other communities engaged the  
41 public, and would provide information in a staff report.

42  
43 Commissioner Murphy thanked Commissioner Moriarty and staff for the updates  
44 on particular projects. He otherwise briefed the Planning Commission on his  
45 attendance at the Planning Commission Academy in February 2020, identified the  
46 key takeaways from the sessions attended, which had previously been provided

1 to the Planning Commission, but suggested it would be helpful to review the  
2 information again during a future Planning Commission meeting.

3  
4 Commissioner Moriarty expressed the willingness to resend information she had  
5 provided related to her attendance at the Planning Commission Academy.

6  
7 Mr. Hanham confirmed such a discussion could be agendized for the next  
8 Commission meeting.

9  
10 **I. COMMUNICATIONS:** None

11  
12 **J. NEXT MEETING**

13  
14 The next meeting of the Planning Commission to be a Regular Meeting to be held  
15 on Monday, November 30, 2020 at 7:00 P.M.

16  
17 **K. ADJOURNMENT:** 8:47 P.M.

18  
19  
20 Transcribed by:

21  
22  
23 Sherri D. Lewis  
24 Transcriber



## Memorandum

**TO:** PINOLE PLANNING COMMISSION

**FROM:** JUSTIN SHIU, CONTRACT PLANNER

**SUBJECT:** NEW RESIDENCE AND ADU AT 472 LIMERICK ROAD

**DATE:** NOVEMBER 30, 2020

---

**Project Owner and Applicant:**

Rogelio and Maria Del Toro  
651 40th St  
Richmond, CA 94805

PROJECT:	New Residence and ADU
FILE:	Design Review (DR) 20-06
LOCATION:	472 Limerick Road
APN:	403-500-020
ZONING:	Suburban Residential (R-1)
GP LU DESIGNATION:	Suburban Residential (SR)

### **REQUEST**

Rogelio and Maria Del Toro (owner and applicant) are seeking approval of a design review request to construct an approximately 3,466 square foot two-story single family home, with a two car garage and an accessory dwelling unit (ADU), on a 6,087 square foot vacant lot in the R-1 district. The Planning Commission has the authority to review this request under the Zoning Code.

### **STAFF RECOMMENDATION**

Adopt Resolution 20-19 for Design Review (DR) 20-06 conditionally approving development of a new single family residence at 472 Limerick Road.

## **SITE LOCATION**



**Figure 1. Site Location**

Direction from Project Site	Land Use
North	Vacant Lot, and Single Family Residential beyond
West	Church (Iglesia Apostolica de San Pablo)
South	Single Family Residential
East	Limerick Road and Single Family Residential

## **PROJECT DESCRIPTION**

The project consists of a new two-story single family residence with a two-car garage and a second-floor accessory dwelling unit (ADU) integrated into the design of the building on a 6,087 square foot vacant lot. The primary residence consists of 2,131 square feet of living area including three bedrooms, a loft area, home office, living room, and dining area. A 460 square foot two car garage is attached to the residence. An 875 square foot, two bedroom ADU is designed as part of the residence on the second story. The building features stucco exterior walls and flat tile roofing, with details and colors shown in the plans (Attachment B).

## **BACKGROUND**

The site of the project is located at 472 Limerick Road in the R-1 zoning district. The property is currently vacant and adjacent to another vacant residential property to the north. The site is situated around other single family residences to the north (beyond the adjacent vacant lot), south, and east. It is next to the church Iglesia Apostolica de San Pablo on the west side. The site is relatively flat for much of the area but drops off at a sharper slope towards the rear of the property. The west property line is at the city limits.

New single family residences are reviewed and approved by Planning Commission as Comprehensive Design Review projects, per Pinole Municipal Code Section 17.12.150.

## **ANALYSIS**

### ***Land Use***

The project site is designated Suburban Residential (SR) in the General Plan. The General Plan SR land use designation is intended to provide for single family development that is typical of most residential areas in the city. The allowed density of 1.1 to 10.0 dwelling units per acre allows for the construction of one single family residence on the 0.14 acre parcel. The development also includes an ADU, which is a residential use consistent with the General Plan and zoning designations for the lot and is not considered to exceed the allowable density. The project would meet General Plan Goals and Policies, including the following:

#### **GOAL H.2 PROTECT EXISTING CHARACTER AND HERITAGE.**

Protect and enhance the integrity and distinctive character and heritage of Pinole encouraging the development of high-quality, well-designed housing and conserving existing housing.

**POLICY H.2.3 PROMOTE HIGH QUALITY DESIGN.** Provide stable, safe, and attractive neighborhoods through high quality architecture, site planning, and amenities that: (1) reduce the perception of bulk; (2) recognize existing street patterns; (3) enhance the sense of place; (4) minimize the visual impact of parking and garages; and (5) use quality building materials.

#### **GOAL H.4 HOUSING NEED.**

Within the context of retaining existing community character and providing adequate services and facilities, maintain the current social diversity that exists in Pinole by providing a mix of housing types and prices that meet the City's Fair Share of Regional Housing Need and its specific housing needs as identified in the Housing element.

**POLICY H.4.1 PROVIDE A CHOICE OF HOUSING.** Provide a mix of sizes and housing types to meet the needs of Pinole's diverse population. Specific examples include traditional single family homes, second units, mixed use developments, infill development, accessible housing, and transitional and emergency housing. Opportunities must be available for lower, moderate, and above-moderate income households reflecting available job opportunities in close proximity to Pinole. Available housing choices should also strive to minimize transportation needs.

The project would create a single family residence in an area developed with single family residences. The residence would be well-designed and follows applicable residential design guidelines. Upon completion of the development, the project would contribute a new single family residence and an accompanying ADU to expand the housing stock in the city.

### **Zoning**

The project site is located within the Suburban Residential (R-1) zoning district. The R-1 zoning district provides for single family development typical of most residential areas of the city. A comparison of development standards to the project is shown in Table 1.

**Table 1. Development Standards and Proposed Project**

<b>Development Standard for R-1 and ADUs</b>	<b>Standard</b>	<b>Proposed Project</b>
<b>Lot Size</b>		
Minimum Lot Size	6,000 square feet	6,087 square feet
<b>Setbacks</b>		
Minimum Front Yard	20'	20'
Minimum First Floor Side Yard	5'	5'
Minimum Second Floor Side Yard (south)	12'	12'
Minimum Second Floor ADU Side Yard (north)	4'	9'-3" (5'-6" incl. stairs)
Minimum Rear Yard	20'	20'
<b>Height</b>		
Maximum Height	35'	27'-3"
<b>Parking</b>		
Minimum Required Parking Spaces	2 (1 covered)	2 (2 covered)

The project meets the general development standards for the zoning district. However, the project also includes an ADU, which is regulated by specific development standards that differ in some respects. A notable difference is found in the application of second story setbacks. The second story setback is 12 feet on the south side of the building, which is consistent with the general standards of the zoning district. On the north side where the ADU is located, the second story setback is approximately 9'-3", or 5'-6" when accounting for the exterior stairs. This configuration meets the minimum four-foot setback for ADUs in the zoning code. The ADU also needs its own separate exterior entrance, which requires exterior stairs. The project does propose to minimize potential impacts from the ADU by providing some Italian Cypress trees along the side property line for added privacy and screening. Additionally, the design of the garage wall, the installation of the wooden fence and gate entering the side yard, and the planting of a Crape Myrtle tree at the northeast corner of the property contribute some visual screening for the stairs from the street.



ADUs are approved ministerially through the building permit review process, where they are reviewed for compliance with development standards. ADUs that meet development standards cannot be subject to a discretionary review process, including design review. However, design review can be conducted for the single family residence. The ADU would be reviewed and approved ministerially only after design review approval of the single family residence.

### ***Residential Design Guidelines***

A new single family residential development should be designed to comply with the City's Residential Design Guidelines. The project would comply with the four design components.

#### ***Design Component 1: Basic Site Planning: Placement of House, Garage, and Driveway***

##### ***Approval Criteria:***

- *Building placement shall be configured to support the neighborhood's existing site patterns, including building location, setbacks and yard areas.*
- *The driveway and the garage shall be secondary to the livable portions of the house, landscaping and pedestrian entry as seen from the street.*

The site applies a 20-foot front yard setback similar to setbacks in the surrounding neighborhood. The building footprint meets the setback requirements for the zoning district and is compatible with the patterns of the surrounding residential developments. The project proposes to minimize the appearance of the driveway by providing more than 60 percent of the front yard as landscaping. The design of the residence minimizes the appearance of the garage by creating a garage frontage that is less than half of the street-facing building frontage and by emphasizing other architectural features and details on the facade such as the gabled front porch entry.

#### ***Design Component 2: Neighborhood Compatibility for Height, Mass and Scale***

##### ***Approval Criteria:***

- *The scale, mass and height of a new house or a second/upper story addition shall be compatible with the existing neighborhood pattern specifically in relation to height and massing of adjacent homes.*

The project is a two-story single family residential building, which is the type of development shared by the adjoining property to the south and across the street. As such, the building heights and massing would be compatible with nearby structures.

#### ***Design Component 3: Building Design: Architectural Style and Form***

##### ***Approval Criteria:***

- *Architectural style of the house shall enhance the character of the neighborhood.*
- *The architectural form of the house shall be carefully designed to articulate the style of the house.*
- *Roof profiles shall define the form, scale and proportion of the home and reduce bulk.*
- *Consistent pattern and application of exterior materials shall be used on new homes and additions in order to enhance the appearance and character in the existing neighborhood.*
- *Facades facing the street shall be designed to include architectural elements that relate to the human scale and add visual interest.*

The architectural style would enhance the character of the neighborhood by creating a two-story

single family residence compatible with the design of other two story single family residences in its surroundings. The architectural form uses simple, well-proportioned building masses articulated by features such as the covered front porch entry and the gabled roof features. The project uses a second floor step back, roof design, bands between the stories, and the second floor deck to visually break up the two floors of the residence and reduce bulk. The pitched roof is in proportion to the size of the home and has been designed with variation that minimizes the appearance of bulk. The project proposes the use of stucco on the exterior walls, which would be compatible with the adjacent residence, and a tile roof similar to residences throughout the area. Window trims and door frames provide accents to the look of the building. The street-facing façade features a covered porch that frames the entry area and adds architectural interest.

*Design Component 4: Privacy and Solar Access*

*Approval Criteria:*

- *The size, placement and orientation of second story windows and decks shall take into consideration the impact on privacy and solar access of adjoining residential properties.*

The proposed second story deck is configured such that the building wall obstructs visibility to the adjoining property to the south. The project proposes the planting of trees along the side property line near the deck to provide screening to the residential properties to the north. The building design steps back the second floor on the south side elevation and follows required setbacks to minimize solar access impacts.

***Landscaping***

The site would feature new landscaping with shrubs, ground cover, and trees. Proposed trees include two Crape Myrtle trees in the front yard, five Italian Cypress planted on the side yard, and a Red Maple tree at the back yard. Groundcover (Silver Carpet) and mulch is proposed for much of the front yard area, with some Purple Sage planted near the southeast corner. The project would be required to comply with Water Efficient Landscape Ordinance requirements as a new development.

***Design Review Findings***

The project can be found to meet the findings for Design Review approval:

1. *The proposed project is consistent with the objectives of the general plan and complies with applicable zoning regulations, planned development, master plan or specific plan provisions, improvement standards, and other applicable standards and regulations adopted by the city;*

The design review request, as conditioned, is consistent with General Plan in that the proposed project involves development of a single family residence on a property where the land use designation allows for single family residential development. The project supports General Plan Goals and Policies in the Housing Element. The project, as conditioned, is consistent with the applicable provisions of the Zoning Code, in that it is a single family residence located in the Suburban Residential (R-1) zoning district and complies with applicable development standards.

2. *The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation;*



The project proposes a driveway to serve the single family residence, typical of single family residential development in the area, and would not create conflicts with vehicular, bicycle, or pedestrian transportation modes.

3. *The site layout (orientation and placement of buildings and parking areas), as well as the landscaping, lighting, and other development features, are compatible with and complement the existing surrounding environment and ultimate character of the area under the general plan and applicable specific plans; and*

The project involves development of the site with a two-story residence, a new driveway leading to an attached two-car garage, and landscaped yards compatible with two-story single family residential properties in the area.

4. *Qualifying single-family residential, multi-family residential, and residential mixed-use projects shall comply with all relevant standards and guidelines in the city's currently adopted design guidelines for residential development.*

The project complies with applicable design criteria and guidelines for residential development.

## **ENVIRONMENTAL REVIEW**

The project is exempt from the requirements of the California Environmental Quality Act (CEQA) in that this proposal involves new construction or conversion of small structures. The project is determined to be categorically exempt from the California Environmental Quality Act (CEQA) under Section 15303 of the CEQA Guidelines because it involves construction of a new single family residence in a residential zone and within an urbanized area

## **CONCLUSION**

The proposed project makes effective use of a vacant parcel within a residential area by constructing a new single family residence on the lot. The two-story single family residence is designed to comply with applicable development standards and the residential design guidelines.

## **ATTACHMENTS**

- A. Resolution 20-19 with Exhibit A: Conditions of Approval
- B. Plan Set, date stamped received October 28, 2020

**PLANNING COMMISSION RESOLUTION 20-19  
WITH EXHIBIT A: CONDITIONS OF APPROVAL**

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PINOLE, COUNTY OF CONTRA COSTA, STATE OF CALIFORNIA, APPROVING A DESIGN REVIEW REQUEST (DR20-06) TO CONSTRUCT A NEW TWO-STORY SINGLE FAMILY RESIDENCE AT 472 LIMERICK ROAD, APN: 403-500-020**

**WHEREAS**, Rogelio and Maria Del Toro (owner/applicant) filed an application for a Design Review (DR20-06) with the City of Pinole to construct a new two-story single family residence on a vacant lot at 472 Limerick Road; and

**WHEREAS**, the Planning Commission of the City of Pinole is the appropriate authority to hear and take action on this project; and

**WHEREAS**, said property is designated Suburban Residential (SR) in the Pinole General Plan and is intended to provide for single family development that is typical of most residential areas in the city; and

**WHEREAS**, the property is zoned Suburban Residential (R-1), which allows for single family residences; and

**WHEREAS**, design review is required by the City of Pinole Zoning Code for the proposed construction of a single family residence; and

**WHEREAS**, the design of the proposed residence meets applicable development standards in the Zoning Code and guidelines as outlined in the Pinole Residential Design Guidelines; and

**WHEREAS**, the project meets the criteria for a Categorical Exemption as a New Construction or Conversion of Small Structures pursuant to Section 15303 of the California Environmental Quality Act (CEQA) Guidelines; and

**WHEREAS**, the Planning Commission of the City of Pinole has conducted a duly noticed public hearing to consider DR20-06 on October 28, 2020; and

**WHEREAS**, after the close of public hearing, the Planning Commission considered all public comments received both before and during the public hearing, the presentation by City staff, the staff report, and all other pertinent information regarding the proposed development.

**NOW, THEREFORE**, the Planning Commission hereby finds that:

1. The Planning Commission has considered the full record before it, which may include but is not limited to such information as the staff report, testimony by staff and the public, and other materials and evidence submitted or provided to it. Furthermore, the recitals set forth above are true and correct and are incorporated herein by reference.
2. The design review request, as conditioned, is consistent with General Plan in that the proposed project involves development of a single family residence on a property where the land use designation allows for single family residential development. The project supports General Plan Goals and Policies in the Housing Element. The project, as conditioned, is consistent with the applicable provisions of the Zoning Code, in that it is a single family residence located in the Suburban Residential (R-1) zoning district and complies with

applicable development standards.

3. The project proposes a driveway to serve the single family residence, typical of single family residential development in the area, and would not create conflicts with vehicular, bicycle, or pedestrian transportation modes.
4. The project involves development of the site with a two-story residence, a new driveway leading to an attached two-car garage, and landscaped yards compatible with two-story single family residential properties in the area.
5. The project complies with applicable design criteria and guidelines for residential development.
6. The design review request is Categorically Exempt from CEQA pursuant to Section 15303(a) of the CEQA Guidelines because it involves new construction of one single-family residence within a residential zone in a location that has been previously urbanized.

**NOW, THEREFORE BE IT RESOLVED** by the Planning Commission of the City of Pinole:

- A. Hereby approves DR20-06 as provided in the staff report, and subject to the Conditions of Approval attached as Exhibit A to this Resolution.
- B. The approval of DR20-06 shall expire on November 30, 2021, unless exercised and actual construction or alteration as needed under valid permits has begun within said period or a written request has been submitted to the City, prior to the expiration date, for an extension of time as allowed under the Zoning Ordinance.

The above action is final unless an appeal is filed pursuant to Chapter 17.10 of the Pinole Municipal Code within ten (10) calendar days following Planning Commission action.

**PASSED AND ADOPTED** by the Planning Commission of the City of Pinole on this 30th day of November 2020, by the following vote:

**AYES:**  
**NOES:**  
**ABSTAIN:**  
**ABSENT:**

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David Kurrent, Chair, 2020-2021

ATTEST:

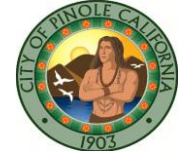
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David Hanham, Planning Manager



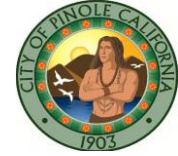
**Exhibit A**  
**Planning Commission Resolution 20-19 CONDITIONS OF APPROVAL**

		<u>Timing/ Implementation</u>	<u>Monitoring Department / Division</u>	<u>Verification (date and Signature)</u>
1.	<p>The project shall be constructed in substantial compliance with the approved Design Review request for the residential development project at 472 Limerick Road (APN 403-500-020), approved by the Planning Commission as shown on the project plans date-stamped received October 28, 2020, unless otherwise conditioned.</p> <p>The proposed project shall be built in a manner consistent with all applicable federal, State, and local regulations.</p>	On-Going	Development Services Department	
2.	<p>The Applicant shall hold harmless the City, its Council Members, its Planning Commission, officers, agents, employees, and representatives from liability for any award, damages, costs and fees incurred by the City and/or awarded to any plaintiff in an action challenging the validity of this permit or any environmental or other documentation related to approval of this permit. Applicant further agrees to provide a defense for the City in any such action.</p>	On-Going	Development Services Department	
3.	<p>All building permit drawings and subsequent construction shall substantially conform to the approved planning application drawings and application materials. Any modifications must be reviewed by the Planning Manager who shall determine whether the modification requires additional approval of the Planning Commission.</p>	On-Going	Development Services Department	



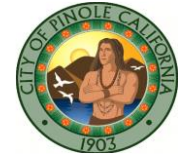
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		<u>Timing/ Implementation</u>	<u>Monitoring Department / Division</u>	<u>Verification</u> (date and Signature)
	<b>Prior to Issuance of Building Permits</b>			
4.	CONDITIONS ON PLANS - These project conditions of approval shall appear on the project building plans.	Prior to Issuance of Building Permits	Development Services Department	
5.	SITE SURVEY - The applicant shall provide a site survey to verify all property boundaries, building setback dimensions, and easements.	Prior to Issuance of Building Permits	Development Services Department	
6.	UTILITY SERVICE PLAN - The applicant shall submit a detailed utility service plan to the Development Services Department for review and approval prior to the issuance of any Building Permit. The utility service plan shall precisely describe how utility services will be provided to 472 Limerick Road for the proposed new dwelling unit.	Prior to Issuance of Building Permits	Development Services Department	
7.	CULTURAL RESOURCES - Prior to the issuance of any construction permit, construction plans shall include a requirement (via notation) indicating that if historic and/or cultural resources or human remains are encountered during construction or other site work, all such work shall be halted immediately within the area of discovery and the contractor shall immediately notify the City of the discovery. In such case, the applicant shall retain, at their own cost, the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The archaeologist shall be required to submit to the City for	Prior to Issuance of Building Permits	Development Services Department	



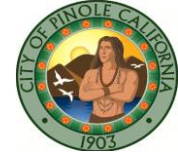
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	review and approval a report of the findings and method of curation or protection of the resources. Further construction work within the vicinity of the discovery, as identified by the qualified archaeologist, shall not be allowed until the preceding steps have been taken.			
8.	<p><b>LANDSCAPE PLAN</b> - The applicant shall prepare and submit a full detailed landscape and irrigation plan for review and approval by the Development Services Department prior to issuance of building permits.</p> <p>The landscape and irrigation plan shall include the number, type, and size of all proposed new trees, shrubs, and groundcover specimens. All proposed plantings shall be drought-tolerant and well-suited to the City's climate zone. The landscape plan shall reflect the latest approved site plan.</p> <p>The detailed landscape plan and irrigation plan shall be consistent with all applicable requirements of the Municipal Code including Chapter 17.44. The detailed landscape plan shall ensure that:</p> <ul style="list-style-type: none"> <li>a. All shrubs shall be a minimum 5 gallon size.</li> <li>b. Light-colored, high albedo materials or vegetation shall be installed for at least fifty percent of all sidewalks, patios, and driveways. Specific design material information and specifications</li> </ul>	Prior to Issuance of Building Permits	Development Services Department	



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	<p>for the permeable pavers and crushed rock shall be included within the final landscape plan.</p> <p>c. High water use turf grasses and other similar plantings shall only be utilized in high-use areas with high visibility or functional needs. When only drought-tolerant turf grasses are used, the turf area shall be limited to twenty-five percent (25%) of all irrigated, landscaped areas. When non-drought-tolerant turf grasses or a combination of non-drought-tolerant and drought-tolerant turf grasses is used, the turf area shall be limited to fifteen percent (15%) of all irrigated, landscaped areas.</p> <p>d. At least twenty-five percent (25%) of the lot area and no more than forty percent (40%) of the front yard area shall be non-pervious surface. Additionally, at least ninety percent (90%) of the plants selected in non-turf areas shall be well suited to the climate of the region and require minimal water once established. Up to ten percent (10%) of the plants may be of a non-drought-tolerant variety, provided they are grouped together and can be irrigated separately</p> <p>e. Tree protection measures provided by a certified arborist shall be included in the landscape plan, if applicable.</p>			



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9.	<b>WATER EFFICIENT LANDSCAPING</b> - The landscape plan shall show compliance with State Model Water Efficient Landscape Ordinance requirements (California Code of Regulations, Title 23, Division 2, Chapter 2.7 Model Water Efficient Landscape Ordinance). Where the total landscaped area is between 500 and 2500 square feet, the project can demonstrate compliance using the State's Prescriptive Compliance Option (Appendix D of the State Model Water Efficient Landscape Ordinance).	Prior to Issuance of Building Permits	Development Services Department	
10.	<b>LIGHTING PLAN</b> - The applicant shall prepare and submit a lighting plan for review and approval to the Development Services Department prior to the issuance of the building permit. The lighting plan shall include specifications for all proposed exterior light fixtures. Light fixtures selected shall include shields to project light downward and to prevent light spill-over onto adjacent properties. All proposed exterior lighting specifications and cut sheet details and finishes shall be included on the building plans.	Prior to Issuance of Building Permits	Development Services Department	
11.	<b>DRAINAGE PLANS</b> - The applicant shall prepare a construction drainage plan and final drainage plan for Development Services Department review and approval. The construction drainage plan will show how drainage will be handled during construction. The final drainage plan will show how drainage will be handled from impervious surfaces after construction is completed.	Prior to Issuance of Building Permits	Development Services Department	





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12.	PRE-CONSTRUCTION WASTE MANAGEMENT PLAN - The applicant shall complete a pre-construction waste management plan prior to the issuance of the building permit.	Prior to Issuance of Building Permits	Development Services Department	
13.	PERMITS, BONDS, AND INSURANCE - The applicant shall obtain an encroachment permit, posting the required bonds and insurance, for any work to be done in the City's right-of-way. This encroachment permit shall be obtained prior to the issuance of a building permit and prior to any work being done in the City's right-of-way.	Prior to Issuance of Building Permits	Development Services Department	
14.	MATERIAL HAULING - The applicant shall submit a proposed material hauling route and schedule, if needed, for City Engineer review and approval. The hauling route shall be included on the building construction plans. The City Engineer prior to issuance of a building or site development permit shall review and approve said submittal. All material hauling activities including, but not limited to, adherence to approved route, hours of operation, dust control and street maintenance shall be the responsibility of the applicant (as per Section 15.36.080 of the Municipal Code). Violation of the applicable may be cause for suspension of work.	Prior to Issuance of Building Permits	Development Services Department	
15.	DEVELOPMENT IMPACT FEES - The applicant shall pay all applicable development impact fees prior to issuance of the building permit.	Prior to Issuance of Building Permits	Development Services Department	



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16.	WATER SUPPLY SYSTEM - Prior to issuance of a building permit there shall be an approved and tested water supply system capable of supplying the required fire flow as determined by the Fire Chief or Fire Marshall. Water supply system for staged construction, if applicable, shall provide required fire flows at all stages.	Prior to Issuance of Building Permits	Fire Department	
	<b>During Construction and Prior to Occupancy</b>			
17.	CONSTRUCTION CONTACT - A construction contact person's name, mobile phone number, and email address shall be posted on the project site during the duration of construction.	During Construction	Development Services Department	
18.	ADDRESS MARKING - The property address shall be clearly marked during the project construction process.	During Construction	Development Services Department	
19.	INSPECTIONS - The applicant shall notify the Development Services Department at least forty-eight (48) hours prior to starting any work pertaining to on-site drainage facilities, grading, or paving, as well as any work in the City's right-of-way as per Section 15.36.230 of the Municipal Code.  The applicant shall arrange all inspections with the Building Division, Fire Department, and Public Works Division. All Building Division inspection requests shall be made at least 24 hours in advance.	During Construction	Development Services Department	



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20.	CERTIFIED GRADED PAD - A California-Licensed Engineer shall certify that the graded construction pad for the proposed dwelling unit has been adequately compacted and designed to support the proposed dwelling unit to the satisfaction of the City Engineer.	During Construction	Development Services Department	
21.	<p>CONSTRUCTION SITE MANAGEMENT - The building permit holder shall ensure the following provisions to control noise, dust, and construction debris nuisance occur during construction:</p> <p>A. Building construction activities shall occur only between 7:00A.M. and 5:00 P.M., Monday through Friday on non-federal holidays. Interior construction work may occur between 9:00A.M. and 6:00P.M. on weekends if requested and approved by the City as allowed under Chapter 15.02 of the City Municipal Code.</p> <p>B. All construction vehicles shall be properly maintained and equipped with exhaust mufflers and meet State and Federal standards.</p> <p>C. Newly disturbed soil surfaces shall be watered down regularly throughout the day and any construction grading activity shall be discontinued in wind conditions greater than 10 miles per hour.</p> <p>D. Construction activities shall be scheduled so that paving and foundation placement begin immediately upon completion of grading</p>	During Construction	Development Services Department	



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	<p>operation.</p> <p>E. All excavated or silty materials shall be covered with a tarp during transit to and from the site.</p> <p>F. All construction debris shall be covered with a tarp during transit from the site.</p> <p>G. The construction site shall be maintained in an orderly fashion and litter shall be contained and properly disposed of on a daily basis.</p>			
22.	SITE MAINTENANCE - The construction site shall be cleaned of garbage and debris on a daily basis and maintained in an orderly fashion. All construction equipment shall be secured at the end of each day of construction.	During Construction	Development Services Department	
23.	ACCESS TO LIMERICK ROAD - Project construction vehicles and vehicles belonging to construction workers shall not block access to Limerick Road or any other public roadway.	During Construction	Development Services Department	
24.	POST-CONSTRUCTION WASTE MANAGEMENT Report - The applicant shall complete a post-construction waste management report prior to issuance of a certificate of occupancy.	Prior to Occupancy	Development Services Department	



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		<u>Timing/ Implementation</u>	<u>Monitoring Department / Division</u>	<u>Verification (date and Signature)</u>
25.	FIRE PROTECTION - Prior to issuance of a "Certificate of Occupancy" or final building inspection, approved fire prevention features shall be installed as required by the Fire Prevention Bureau.	Prior to Occupancy	Fire Department	
26.	FIRE PREVENTION FEES AND INSPECTION - Prior to issuance of a "Certificate of Occupancy" or final building inspection, the applicant shall pay all applicable fees in accordance with the Master Fee Schedule adopted by the City of Pinole and obtain all required inspections from the Fire Prevention Bureau.	Prior to Occupancy	Fire Department	
27.	ADDRESSING - Prior to issuance of a "Certificate of Occupancy" or final building inspection approved illuminated numbers and addresses shall be installed on the new residence in compliance with Section 15.02.050 of the Municipal Code.	Prior to Occupancy	Development Services Department	
28.	SIDEWALK, CURB AND GUTTER REPAIR - The applicant shall repair and replace to existing City standards, any sidewalk, curb and gutter abutting the project site.	Prior to Occupancy	Development Services Department	



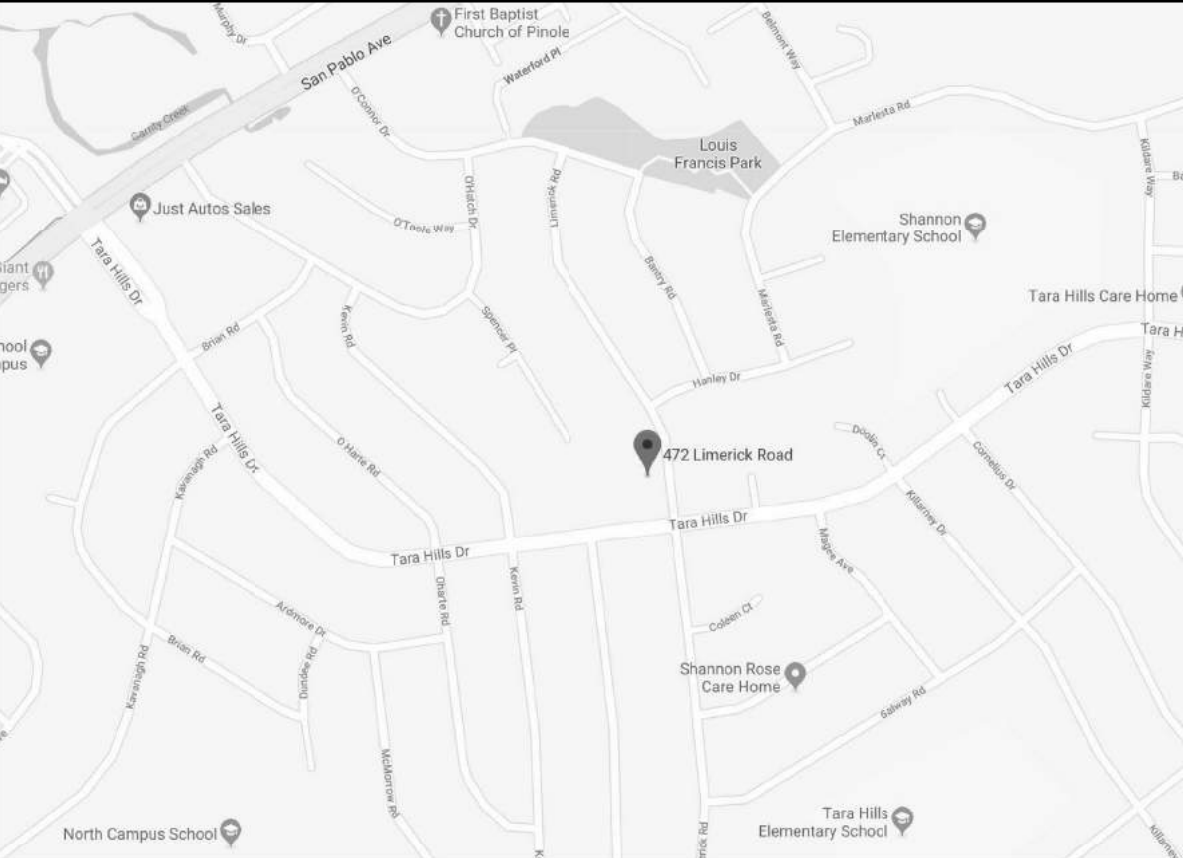
GENERAL NOTES

1. Site Review: Contractor shall verify all conditions and dimensions at the job site. If any discrepancies are found, Contractor shall notify the Architect /Project Coordinator.
2. Code Compliance: The work shall comply with and conform to all laws, rules, codes, ordinances, etc., of the governing body having Jurisdiction over the work, as well as the rules and regulations of the various utility companies serving the building. Nothing in these drawings shall be construed as directions to perform work contrary to these requirements. Applicable codes include, but are not limited to, the following: "California Building Code" 2019 edition, State and local building codes.
3. Job Site Conditions: Contractor by accepting contract and beginning the work shall assume sole and complete responsibility for job site conditions during the course of construction including safety all persons and property. This requirement shall apply continuously and not be limited to normal working hours. Contractor shall defend, indemnify and hold the Architect, Engineer and Owner harmless from any and all liability, real or alleged, in connection with the performance or work on this Project. Contractor shall show proof of Worker's Compensation Insurance, as required prior to issuing a permit.
4. Fire Protection: Additional on Site Fire Protection during construction to be provided as required by Fire Inspector or Department.
5. Stored Materials: All materials stored on the site shall be properly stacked and protected to prevent damage and deterioration until use. Failure to protect materials may be cause for rejection of work.
6. Utilities: Contractor shall be responsible for locating, maintaining, relocating and/or removing existing utilities as required.
7. Changes, Additions and Revisions: Prior to the start of any construction work, the General Contractor shall layout the work in conformity with these drawings. Any changes and/or revisions of the structure due to relocation or addition shall be brought to the attention of the Architect prior to the commencement of said change or revisions on. Structural members or elements that require changing or relocation shall be the responsibility of the trade or trades involved. The Architect or Owner shall not be liable for cost of the changes or revisions required.
8. Workmanship and Materials: All workmanship materials are subject to the approval of the Architect and the Owner.
9. Accessibility: All portions of the work shall be accessible to persons with disabilities as required by Chapter 11B, of the California Building Code 2019 Edition, and Federal Laws, Rules and Regulations.
10. Details: Where certain construction features are not fully shown, the construction shall repeat similar conditions shown elsewhere.
11. Coordination: The General Contractor must coordinate all phases of the project, including work done by others, to insure the smooth progress of the project. The General Contractor is also responsible for the receiving and safekeeping of all items shipped to the job site for the project for his use or others.
12. Guarantee: All work is to be done in a first class workmanship manner. All work done by the General Contractor or subcontractors must be guaranteed for a minimum of one year and prompt repair or replacement of defective items must be provided at the notice of the Owner.
13. Safety Measures: At all times, the Contractor shall be solely and completely responsible for conditions of the job site including the safety of persons and property and for all necessary independent engineering and/or architectural review of these conditions. The Contractor shall also provide and maintain fire extinguishers and other equipment as required by local codes for proper fire protection during construction.
14. Job Site Maintenance: The General Contractor shall maintain the premises in a clean and orderly fashion during the entire construction period, removing all trash and rubbish from the job site. Upon completion of all construction, the General Contractor shall perform a general clean-up of the premises in order to facilitate the turnover to the Owner.
15. Mechanical: Any of the work shall be on a DESIGN/ BUILD basis. The contractor shall submit all plans and other necessary information to the local Building Officials to their satisfactions. All work on the plumbing system shall conform to the requirements of the "California Mechanical Code", 2019 adopted edition, California's Title 24 and state and local codes.
16. Plumbing: Any of the work shall be on a DESIGN/ BUILD basis. The contractor shall submit all plans and other necessary information to the local Building Officials to their satisfactions. All work on the plumbing system shall conform to the requirements of the "California Plumbing Code", 2019 adopted edition, California's Title 24 and state and local codes.
17. Electrical: Any of the work shall be on a DESIGN/ BUILD basis. The contractor shall submit all plans and other necessary information to the local Building Officials to their satisfactions. All work on the electrical system shall conform to the requirements of the "California Electrical Code", 2019 adopted edition, California's Title 24 and state and local codes.

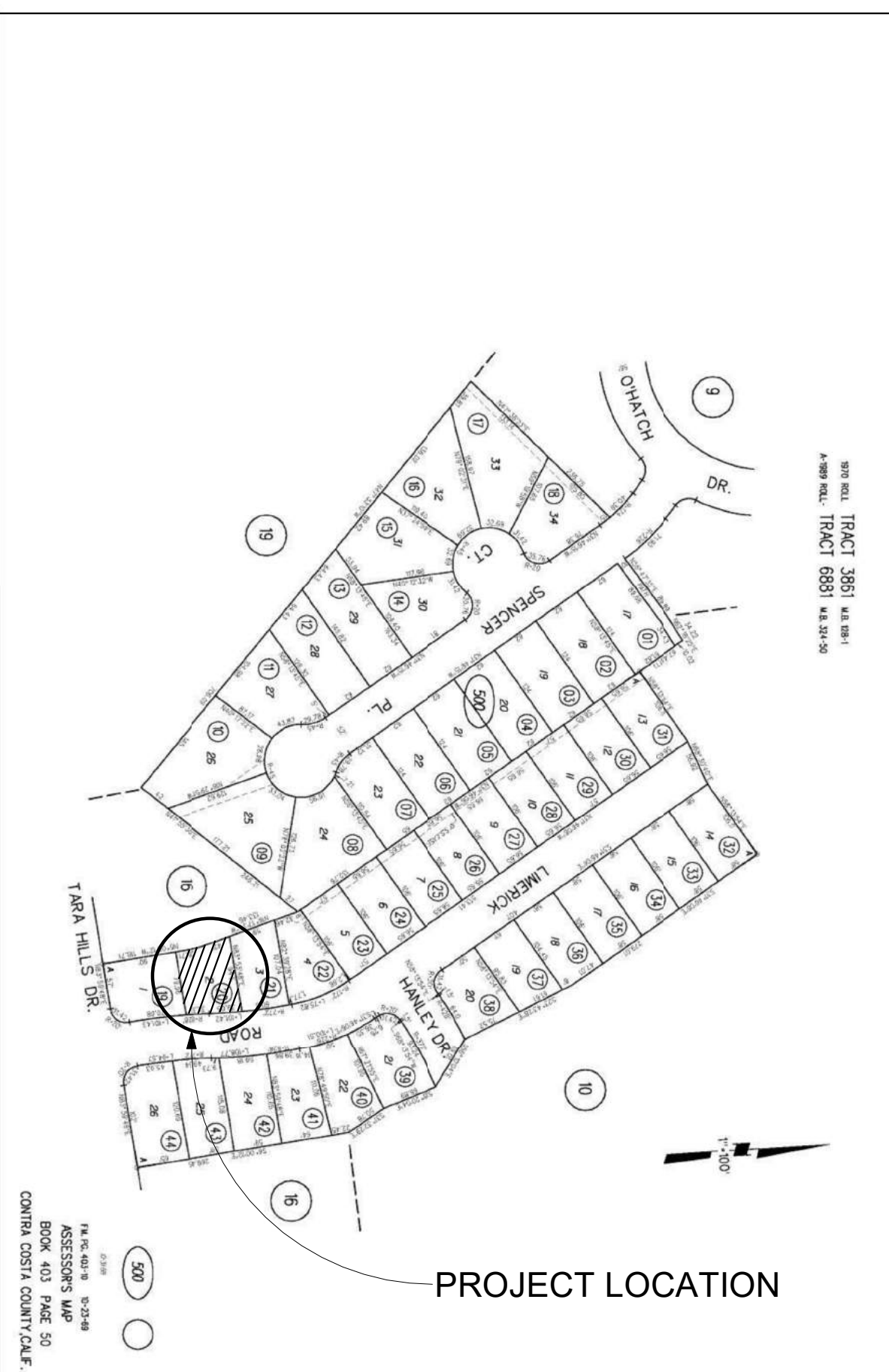
DEFERRED SUBMITTAL

- FIRE SPRINKLER SYSTEM WILL BE PROVIDED WITH SEPARATE SUBMITTAL, PERMIT, PLAN REVIEW, INSPECTIONS AND FEES.
- ROOF TRUSSES DESIGN AND CALCULATIONS WITH APPROVAL LETTER FROM ENGINEER OF RECORD.
- PV SYSTEM WITH MINIMUM 200 Amp ELECTRICAL SERVICE

VICINITY

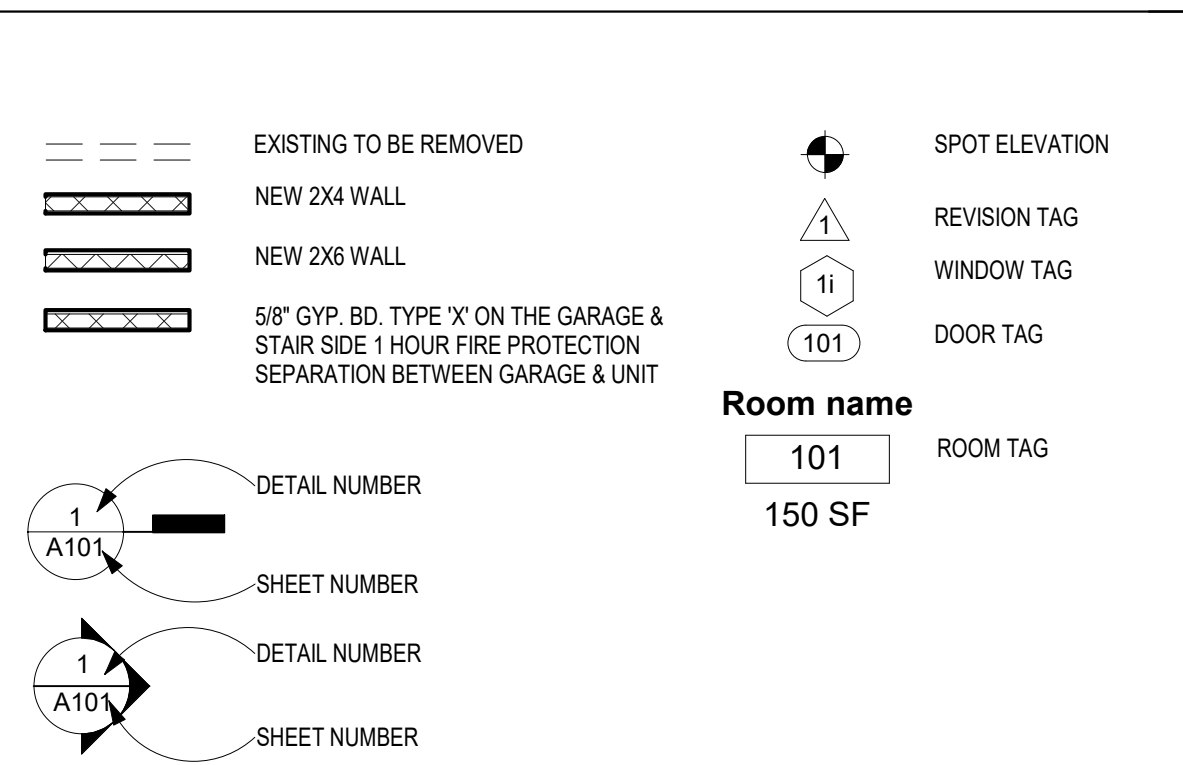


LOT MAP



This map/plot is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances, location of easements, or other matters shown thereon.

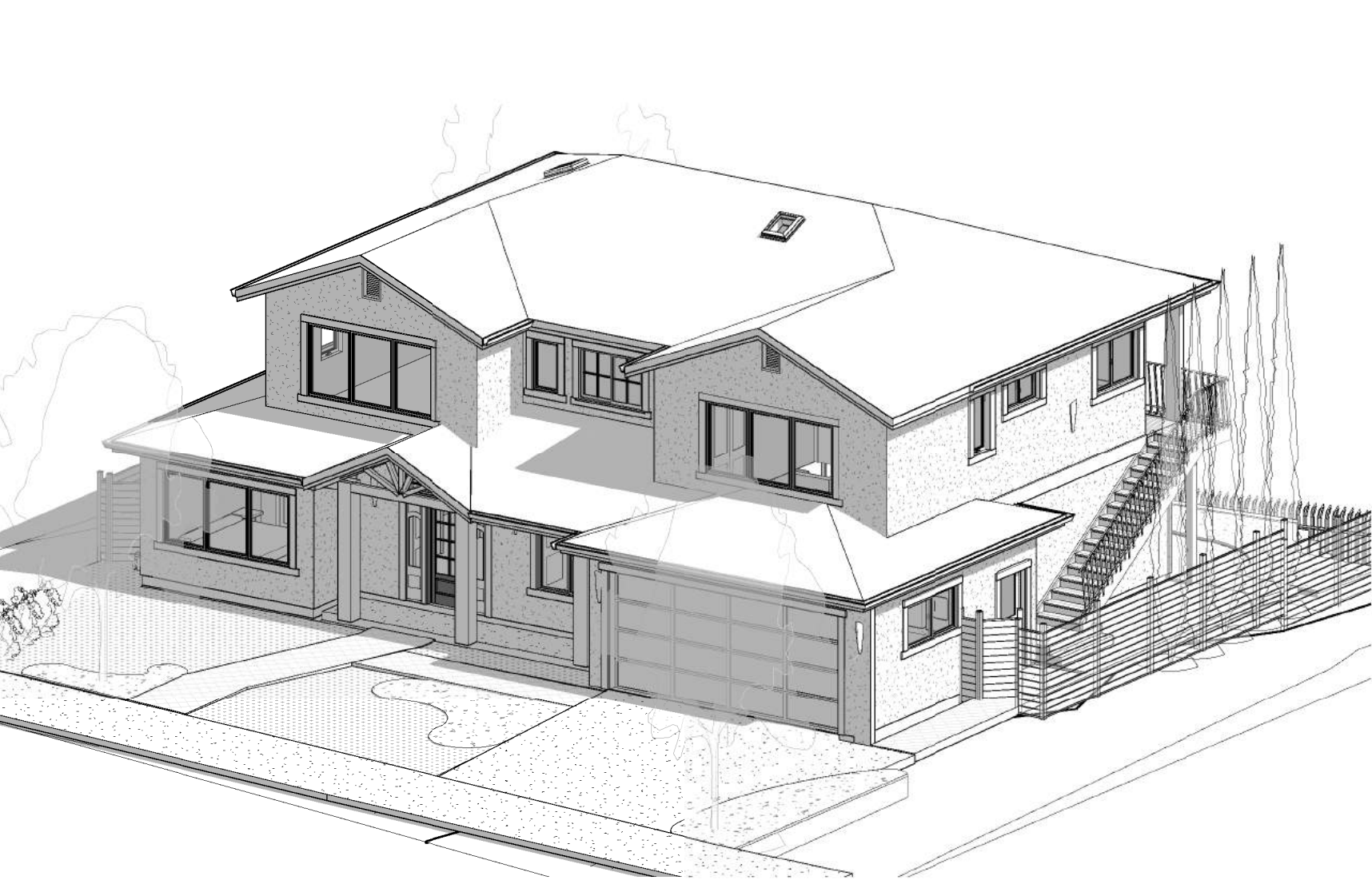
SYMBOLS



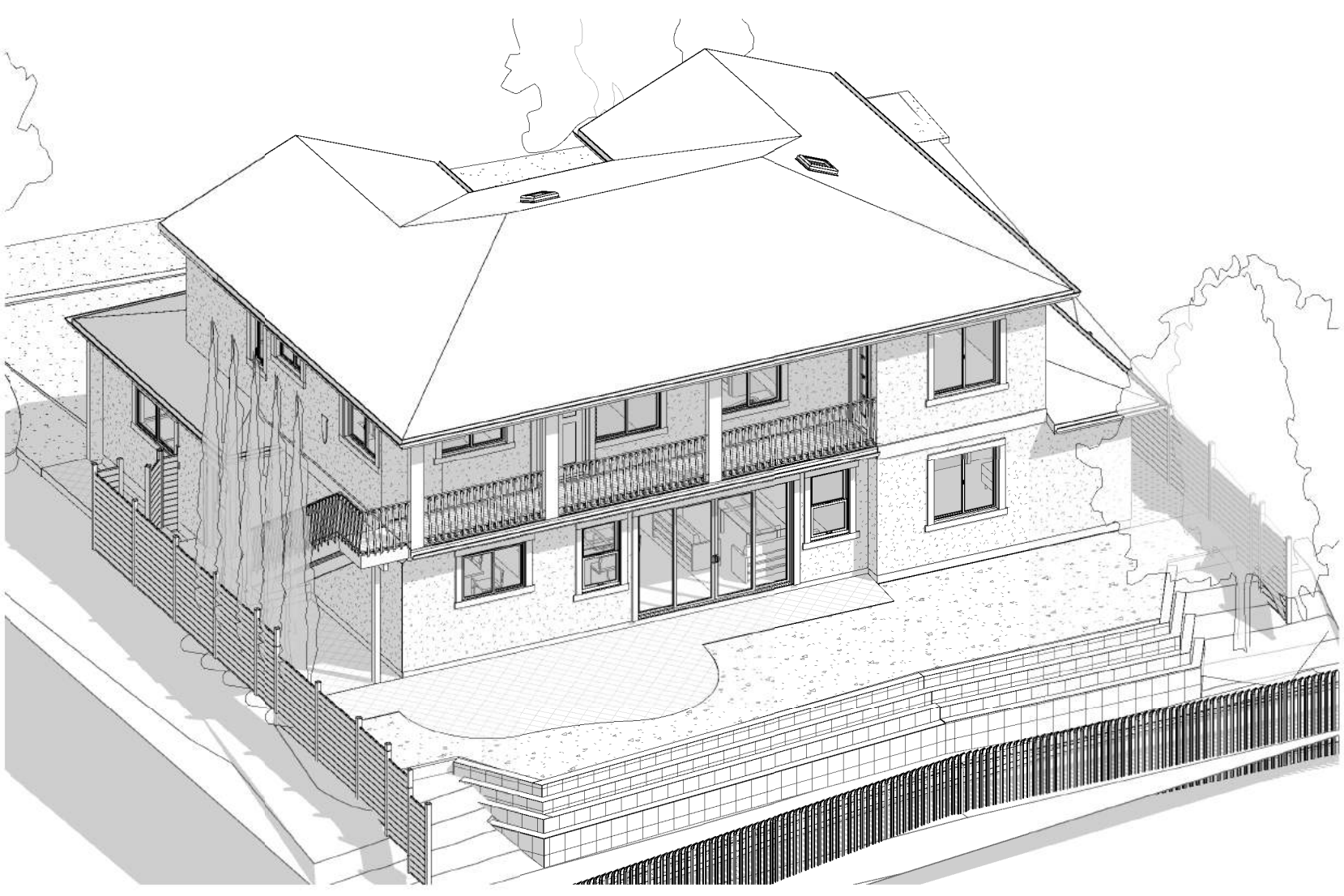
SYMBOLS

scale: 1/4" = 1'-0"

NEW TWO STORY HOUSE + ADU  
APN # 403-500-020-9



1 PROPOSED FRONT VIEW  
scale:



2 PROPOSED REAR VIEW  
scale:

PROJECT TEAM

OWNER: CERVANTES SUSANA DEL TORO  
CERVANTES, RIGOBERTO DEL TORO  
CERVANTES, JESUS R DEL TORO  
651 40TH ST  
RICHMOND, CA 94805-1809  
510-778-0337  
del.toro.cerv@gmail.com

SCOPE OF WORK

**NEW TWO STORY HOUSE WITH:  
-3 BEDROOMS, 2 BATHROOMS.  
ATTACHED ADU ON SECOND FLOOR WITH TWO  
BEDROOMS 1 BATHROOM.  
-TWO CAR GARAGE.**

PROJECT DATA

PROJECT DESCRIPTION:  
BUILDING OCCUPANCY: "PD, PLANNED DEVELOPMENT" USE SFR "R-1-  
SINGLE FAMILY RESIDENCE"  
STORIES: PROPOSED 2  
PROPERTY ADDRESS: 472 LIMERICK RD  
PINOLE, CA 94564-2679  
APN: # 403-500-020-9 TRACT No BLK LOT  
LOT SIZE: 6,087 SF (MIN. 6,000 SF)  
YEAR BUILT: VACANT LAND  
MINIMUM LOT WIDTH 60 FT / LOT WIDTH 70.1 FT

PROPOSED STRUCTURE		
FIRST FLOOR MAIN HOUSE	1,641 SF	
SECOND FLOOR MAIN HOUSE	490 SF	2,131 SF
2 CAR GARAGE	460 SF	
ADU ON 2ND STORY	875 SF	
TOTAL LIVING AREA		3,007 SF
FRONT PORCH	96 SF	
SECOND FLOOR PORCH BALCONY	160 SF	

ZONING / PLANING

Jurisdiction: Planning Division, City of Pinole  
Zoning District: PD, Planned Development  
(R-1 Single Family Residential Zone requirements used)  
Permitted Activities :One-family dwellings (including private garages)  
Minimum Lot Size 6,000 sf. for interior lots  
6,087.02 sf. Actual Lot Size  
Minimum Lot Width 60 ft. / Actual Lot Width = 70.1 ft.



Building Height Limits

35 ft. maximum allowed  
26'-6" ft. actual height.  
Front: 20 ft.  
Interior Side: 5 ft.  
Rear: 20 ft.  
2 spaces for Main dwelling unit,  
Bus stop less than 1/2 Mile

Parking Spaces/Dwelling

APPLICABLE CODES

BUILDING NOTES:  
1. ALL WORK CONNECTED WITH THIS PROJECT SHALL BE DONE IN A PROFESSIONAL MANNER IN ACCORDANCE WITH THE TRADITIONALLY AND LEGALLY DEFINED "BEST ACCEPTED PRACTICE" OF THE TRADE INVOLVED. ADDITIONALLY, ALL WORK SHALL COMPLY WITH APPLICABLE CODES & TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING THE:  
CITY OF PINOLE Local Ordinances .  
2019 CALIFORNIA FIRE CODE  
2019 CALIFORNIA BUILDING CODE  
2019 CALIFORNIA EXISTING BUILDING CODE  
2019 CALIFORNIA ELECTRICAL CODE  
2019 CALIFORNIA MECHANICAL CODE  
2019 CALIFORNIA PLUMBING CODE  
2019 CALIFORNIA GREEN BUILDING CODE  
2019 CALIFORNIA RESIDENTIAL CODE  
2019 BUILDING ENERGY EFFICIENCY STANDARDS

DRAWING INDEX

Sheet List	
Sheet Number	Sheet Name
A100	GENERAL INFORMATION
A101	PROPOSED SITE PLAN & 3D VIEW
A101.1	LANDSCAPE PRELIMINARY DESIGN AND HARDSCAPE CALCS.
A101.2	PRELIMINARY GRADING PLAN
A102	PROPOSED FIRST FLOOR PLAN
A104	PROPOSED 2ND FLOOR PLAN
A105	ELEVATIONS
A106	ELEVATIONS
A107	BUILDING SECTIONS
A108	PROPOSED ROOF PLANS
A110.1	RENDERING
A110.2	3D View Rendering

HouseCADrafting

www.HouseCADrafting.com

Designer: Adolfo M Martinez  
Address: 24301 Southland Dr.  
Suite 605C Hayward CA 94545  
Phone : 510-628-3033  
e-mail : adolfo@housecadrafting.com

Owner:  
**ROGELIO DEL TORO**  
Tel: (510) 778-0337  
e-mail:  
del.toro.cerv@gmail.com

DEL TORO NEW RESIDENCE +  
ADU  
472 LIMERICK ROAD  
PINOLE, CA 94564

No.	Description	Date
1	Planning	08/13/20

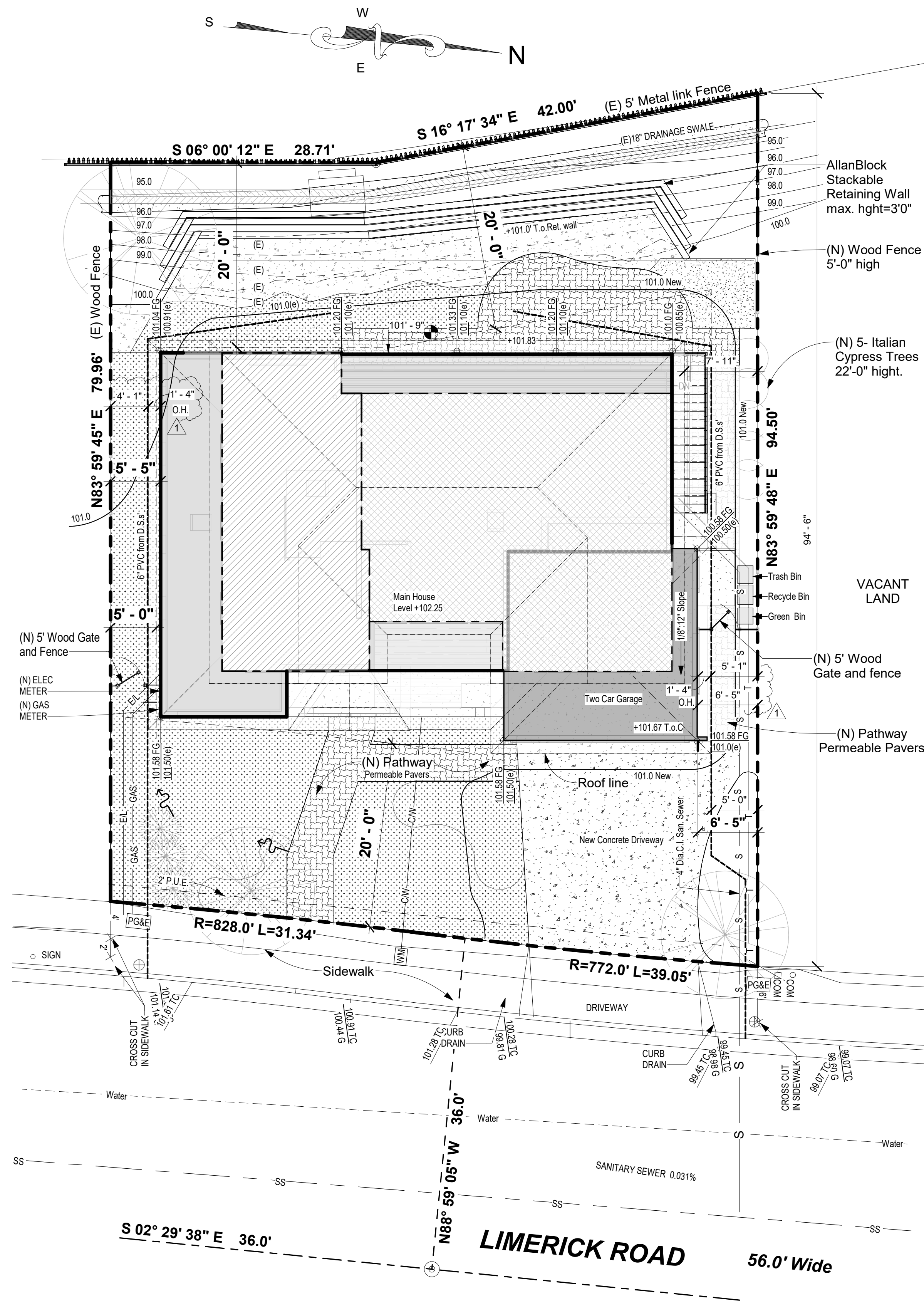
ROGELIO AND MARIA DEL TORO

GENERAL INFORMATION

Project number	105-2019
Date	
Drawn by	Author
Checked by	Checker
A100	
Scale	1/4" = 1'-0"



(E) ADJACENT BUILDING



#### LEGEND

- PROPERTY LINE
- FIRST FLOOR MAIN HOUSE
- SECOND FLOOR ADU
- SECOND FLOOR MAIN HOUSE
- CONCRETE ON GRADE
- EXTERIOR PAVERS
- LAWN / GRASS

#### 2 PROPOSED SITE PLAN

scale: 1/8" = 1'-0"

- CONTOUR LINE
- DRAINAGE FLOW DIRECTION
- BLOCK WALL
- SPOT ELEVATION

LOT SIZE		Feet	Inches	Total	Feet	Inches	Total	Square Feet	6,087,000
FIRST FLOOR									
LIVING AREA	A	41	2	56.17	17	0	17	977.83	
	B	41	11	41.92	3	0	3	375.75	
	C	13	0	13.0	12	10	17.83	240.75	
	D	24	12	24.08	12	10	12.92	311.07	
	E	18	5	19.42	3	0	3.33	25.88	1,641.29
	F	13	4	13.33	3	0	3	40.00	
	G	28	6	28.5	28	0	28	430.75	460.75
	H	24	1	24.08	4	0	4	96.33	460.75
	I	24	1	24.08	4	0	4	2,197.88	96.33
SECOND FLOOR									
REAR PORCH / ADU ENTRANCE	J	1	30	2	36.17	4	3	4,417	159.75
ADU	K	18	2	18.17	28	11	29.92	543.48	
	L	6	10	6.10	24	11	24.58	245.83	
	M	15	5	15.417	13	11	13.92	85.215	875.53
2ND FL MAIN HOUSE	N	2	3	2.25	8	3	8.25	18.563	
	O	12	16	17.88	12	0	12.58	161.488	
	P	6	11	6.917	4	9	9.5	65.208	
	Q	10	7	10.58	6	11	6.917	73.201	
	R	4	16	4.833	4	8	4.667	85.222	
	S	16	15	16.42	5	13	15.25	86.188	490.368
MAIN HOUSE - LIVING AREA									2133.62
ADU - LIVING AREA									875.53

TARA HILLS ROAD

APN 403-500-019

APN 403-500-020-9

APN 403-500-021  
Vacant Land

LIMERICK ROAD

APN 403-500-044

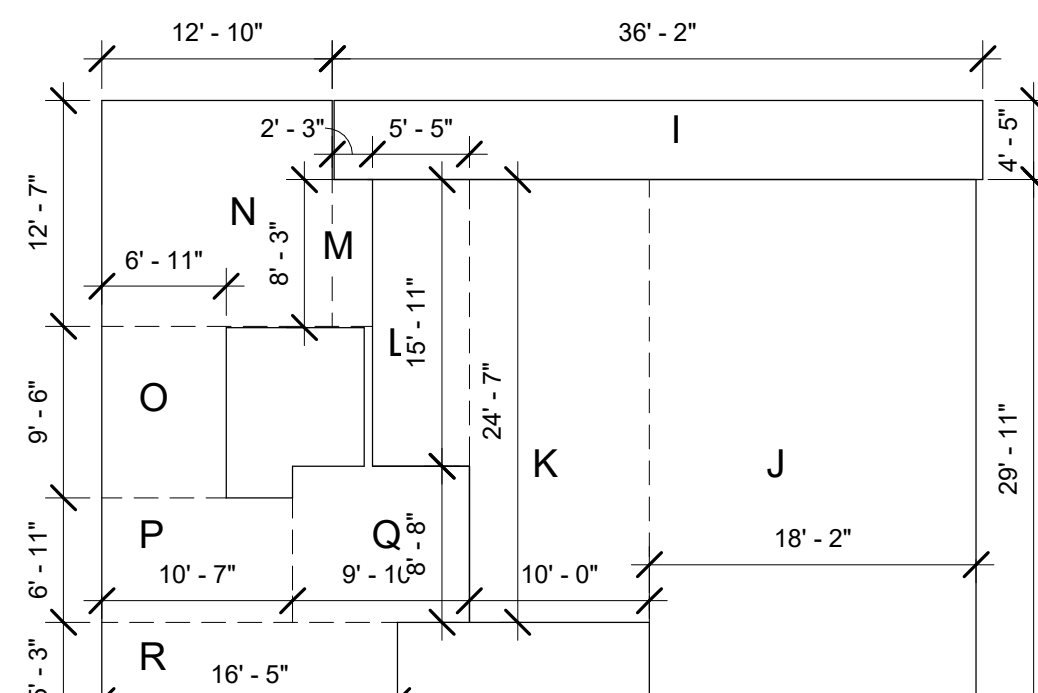
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APN 403-500-042

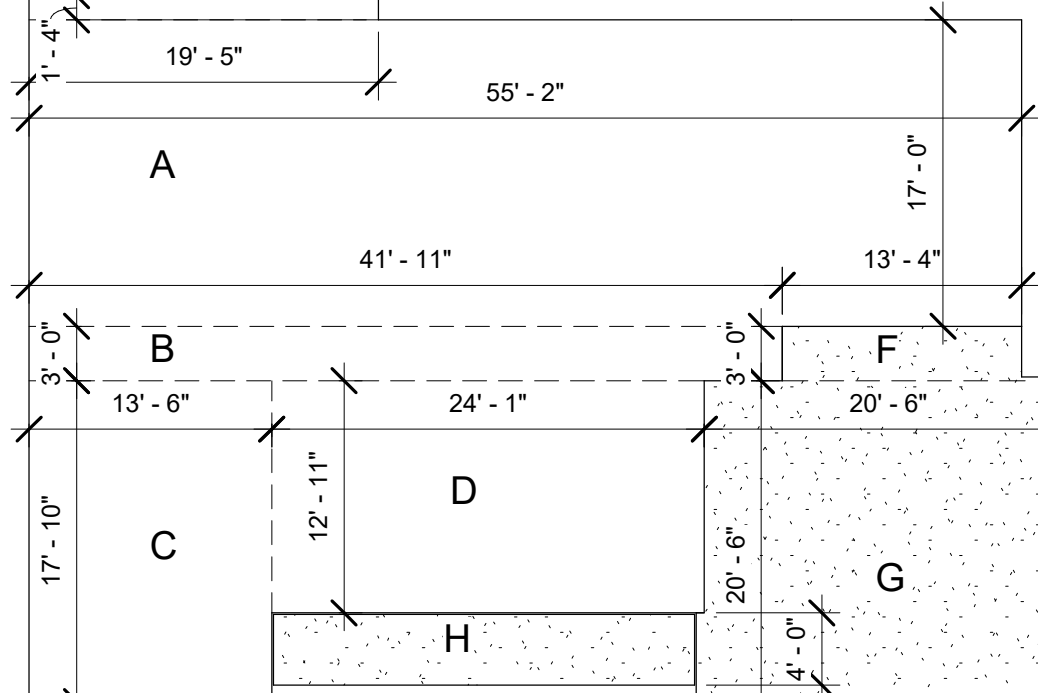
APN 403-500-041

#### 1 PLOT PLAN

scale: 1/16" = 1'-0"



SECOND FLOOR



FIRST FLOOR

DEL TORO NEW RESIDENCE +  
ADU

472 LIMERICK ROAD  
PINOLE, CA 94564

No.	Description	Date
1	Planning	08/13/20

ROGELIO AND MARIA DEL TORO

PROPOSED SITE PLAN & 3D VIEW

Project number 105-2019  
Date  
Drawn by Author  
Checked by Checker

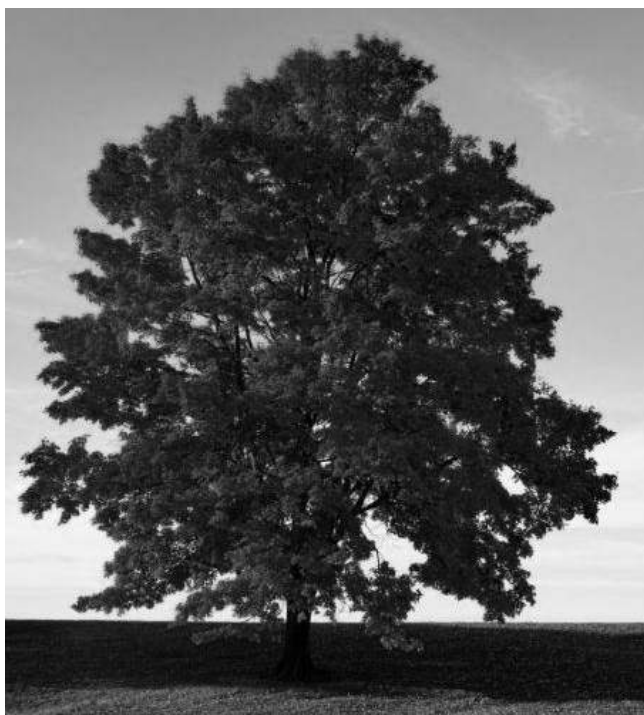
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Scale As indicated

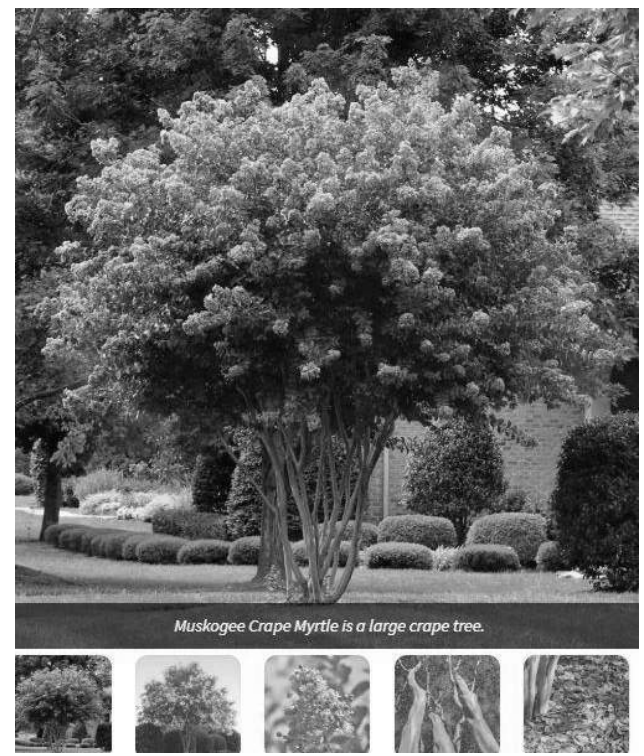
HouseCADrafting  
www.HouseCADrafting.com  
Designer: Adolfo M Martinez  
Address: 24301 Southland Dr.  
Suite 605C Hayward CA 94545  
Phone: 510-628-3033  
e-mail: adolfo@housecadrafting.com

Owner:  
ROGELIO DEL TORO  
Tel: (510) 778-0337  
e-mail: del.toro.cen@gmail.com





T1



T2



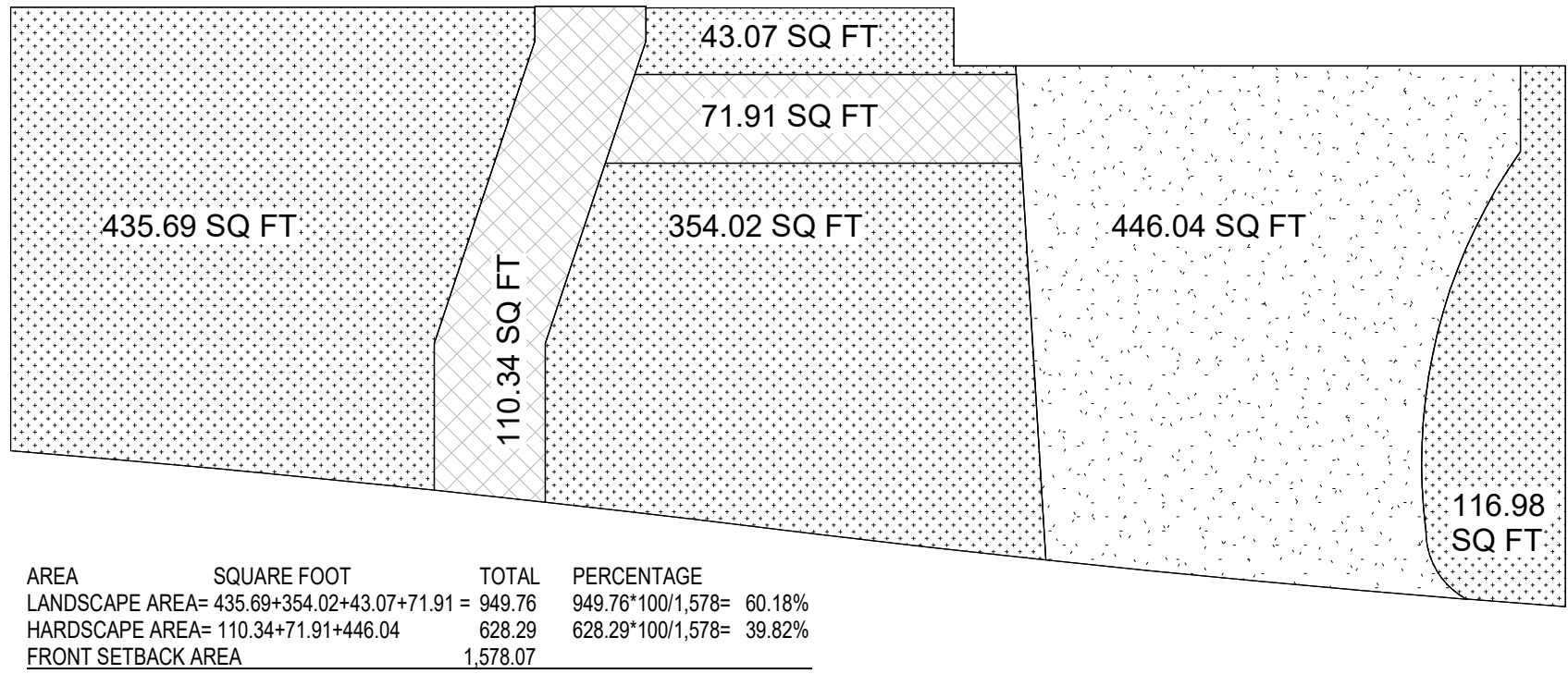
T3



G2

### 3 PLANT PALLETE

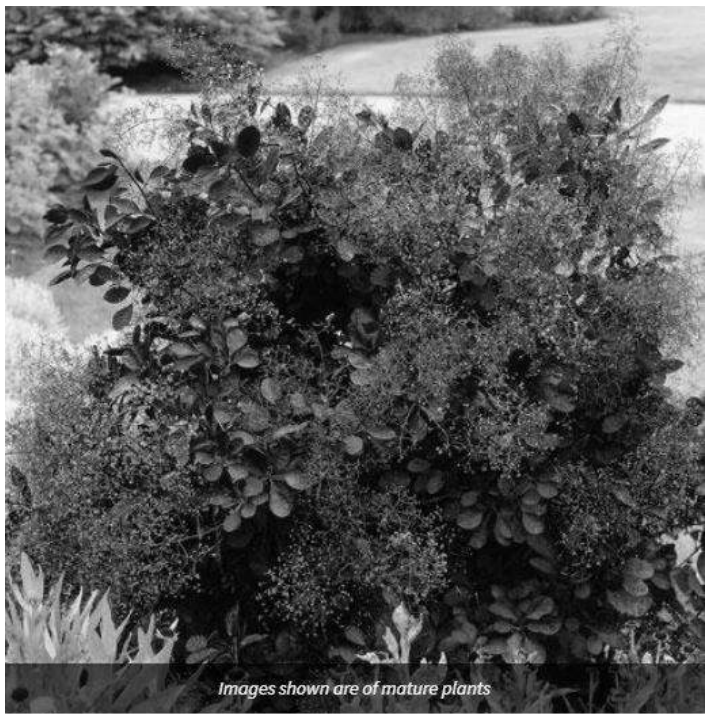
scale: 1/8" = 1'-0"



AREA	SQUARE FOOT	TOTAL	PERCENTAGE
LANDSCAPE AREA=	435.69+354.02+43.07+71.91 =	949.76	949.76/1001.578= 60.18%
HARDSCAPE AREA=	110.34+71.91+446.04	628.29	628.29/1001.578= 39.82%
FRONT SETBACK AREA		1,578.07	

### 2 Landscape Calculation

scale: 1/8" = 1'-0"



S1



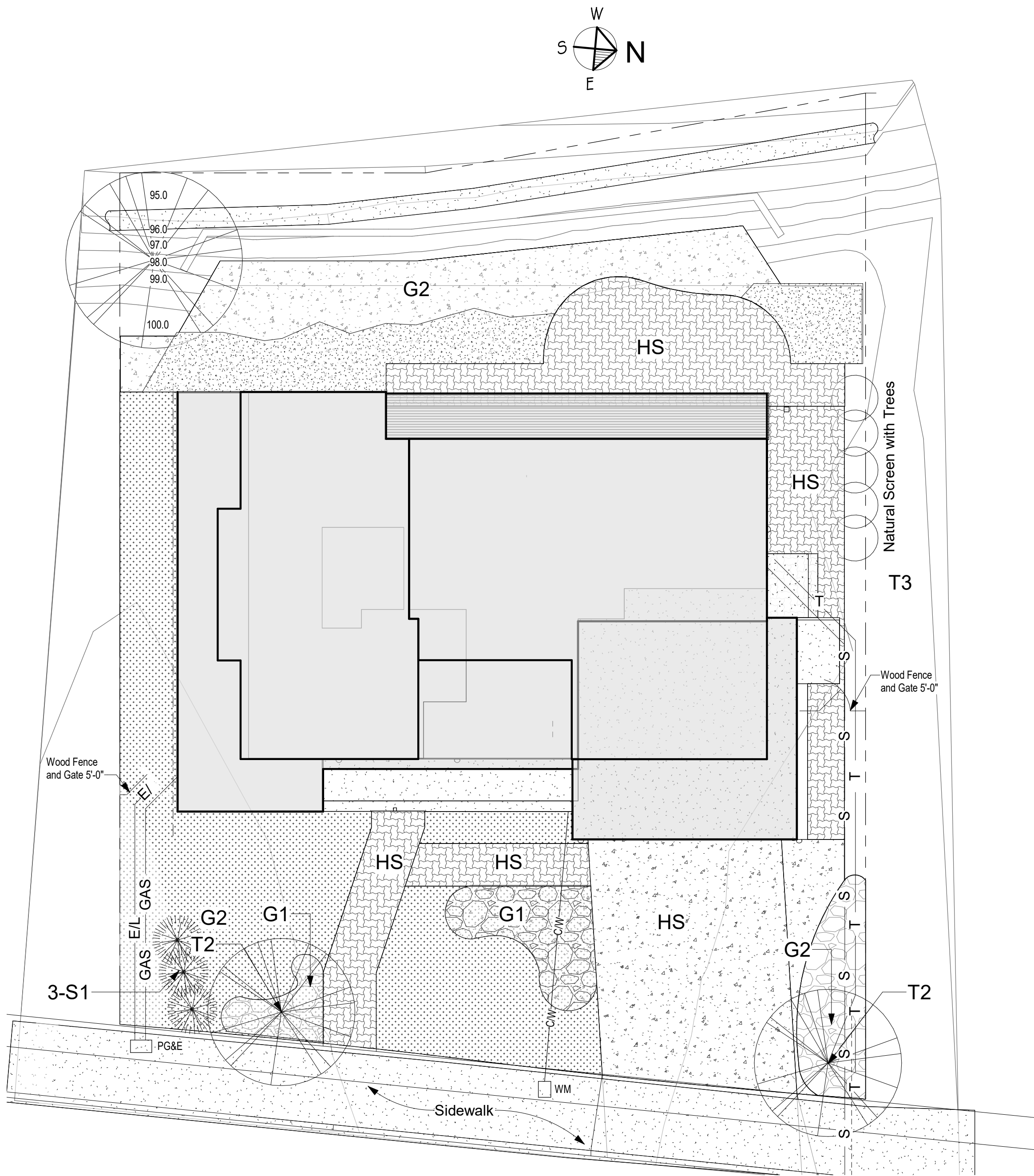
G1

### HS = PERMEABLE PAVERS

HARDSCAPE:  
Pathways and Drive way:  
PERMEABLE PAVERS  
Permeable pavers, also known as permeable interlocking concrete pavements (PICP), are installed with layers of varying-sized stone or aggregate underneath that filter and direct stormwater to underground aquifers. Belgard permeable pavers mimic the way natural land absorbs water. With permeable concrete pavers, any rain that falls on your patio, walkway or driveway seeps back into the ground, reducing the burden on storm drains. A permeable paver system can even be designed to harvest and recycle rainwater.

BENEFITS OF PERMEABLE PAVERS FOR HOMEOWNERS  
Reduce water demand by placing pavers over grassed areas or harvesting and recycling water  
Reduce erosion where vegetation is dry or doesn't grow  
Eliminate standing water here mosquitos can breed and algae or mold can grow  
Eliminate risk of evaporation of standing water and above-ground water storage  
Permeable pavers for driveways can eliminate water accumulation and reduce ice accumulation to improve vehicular safety  
BENEFITS OF PERMEABLE PAVERS FOR THE COMMUNITY  
Infiltrate water back into the ground to recharge local groundwater supplies  
Maintain base flows in waterways to ensure ecosystems are self-sustaining  
Act as filter to improve local water quality  
Eliminate risk of evaporation of standing water and above-ground water storage  
Light tiles and paver colors are highly reflective and reduce heat island effect  
Reduce water use for landscaping  
BENEFITS OF PERMEABLE PAVERS FOR BUILDERS  
Contribute to environmental and stormwater management best practices, including LEED credits  
Lead to cost savings by vastly reducing or even eliminating storm water infrastructure components like pipes, detention basins and storm drains  
Subsurface water storage creates increased surface space on which to develop roads, driveways, parking areas, public spaces, houses and other revenue-generating structures

An automatic irrigation system conforming to all state and local water conservation standards will be provided. Backflow prevention by atmospheric vacuum braker control valves. Controller to be an irritol 'RAIN-R SERIES' with 'Climate Logic' weather Based Control. Irrigation by overhead spray and drip as per the Water Efficient Landscape Worksheet.  
2. A 3" Layer of organic Recycled Chipped Wood Mulch in dark brow color will be placed in all shrub and ground cover areas.  
3. "WCOLS" refers to the "WATER USE CLASIFICATION OF LANDSCAPE SPECIES" DOCUMENT. H = Height, M= Medium, L= Low, VL = Very Low.  
4. Plant Height and Width per "sunset western garden book".



### 1 PROPOSED SITE PLAN

scale: 1/8" = 1'-0"

KEY	BOTANICAL /COMMON NAME	SIZE	QTY	REMARK	HEIGHT AND WIDTH - SEE NOTE * 4	SPACING
TREES						
T1	ACER RUBRUM 'RED SUNSET'_____RED MAPLE	24 BOX	1	STANDARD FORM	60'-40'	24'
T2	LAGERSTROEMIA 'DYNAMITE'_____CRAPE MYRTLE	24 BOX	2	STANDARD FORM	15'-10' to 12'	15'
T3	CUPRESSUS SEMPERVIRENS_____ITALIAN CYPRESS	24 BOX	5 MIN.	STANDARD FORM	35'-40' to 35'	5' MAX.
SHRUBS, GRASSES AND PERENNIALS						
S1	SALVIA LEUCOPHYLLA_____PURPLE SAGE	5 GC	3	MIXED EVERGREEN VAR'S	3' TO 5' X 3' TO 5'	5' Max.
GROUNDCOVERS						
G1	DYMONDIA MARGARET AE_____NCN	FLATS	AS REQ	SPACE TRI. @ 12"o.c. 3' DEPTH	AS REQ	AS REQ
G2	BARK MULCH ONLY - MEDIUM SIZE 'WALK-ON BARK'	FLATS	AS REQ	SPACE TRI. @ 12"o.c. 3' DEPTH	AS REQ	AS REQ

No.	Description	Date





T1



T2



T3

S1



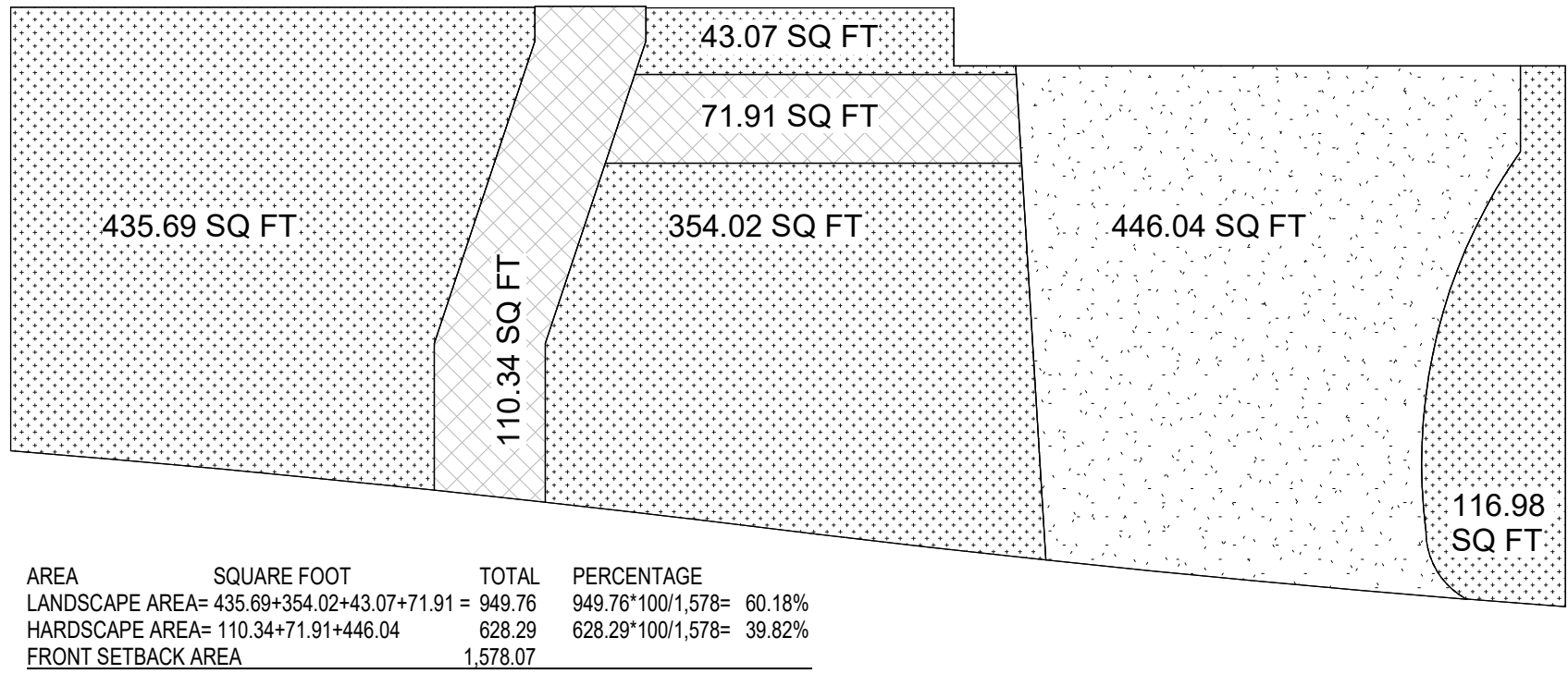
G1



G2

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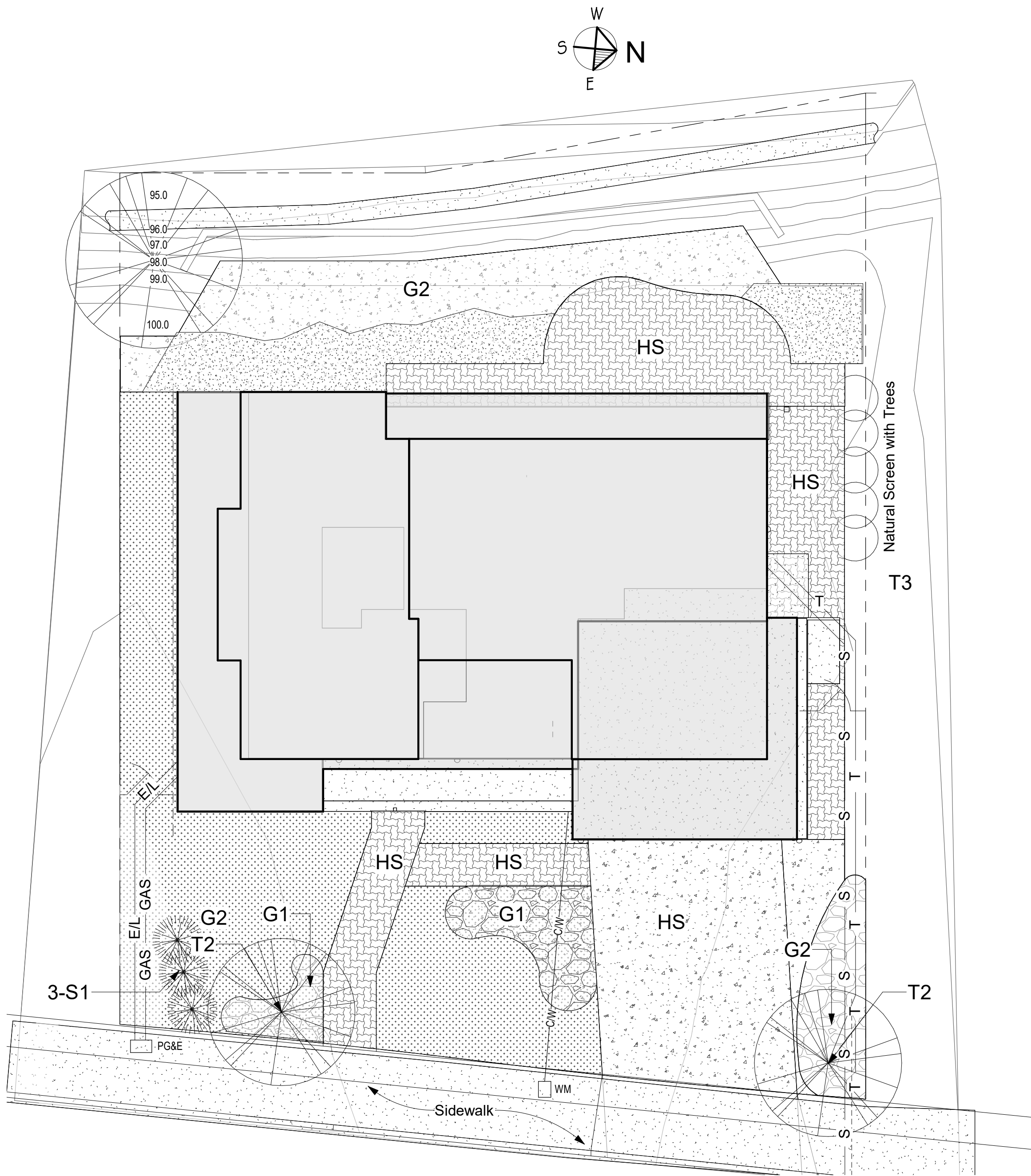
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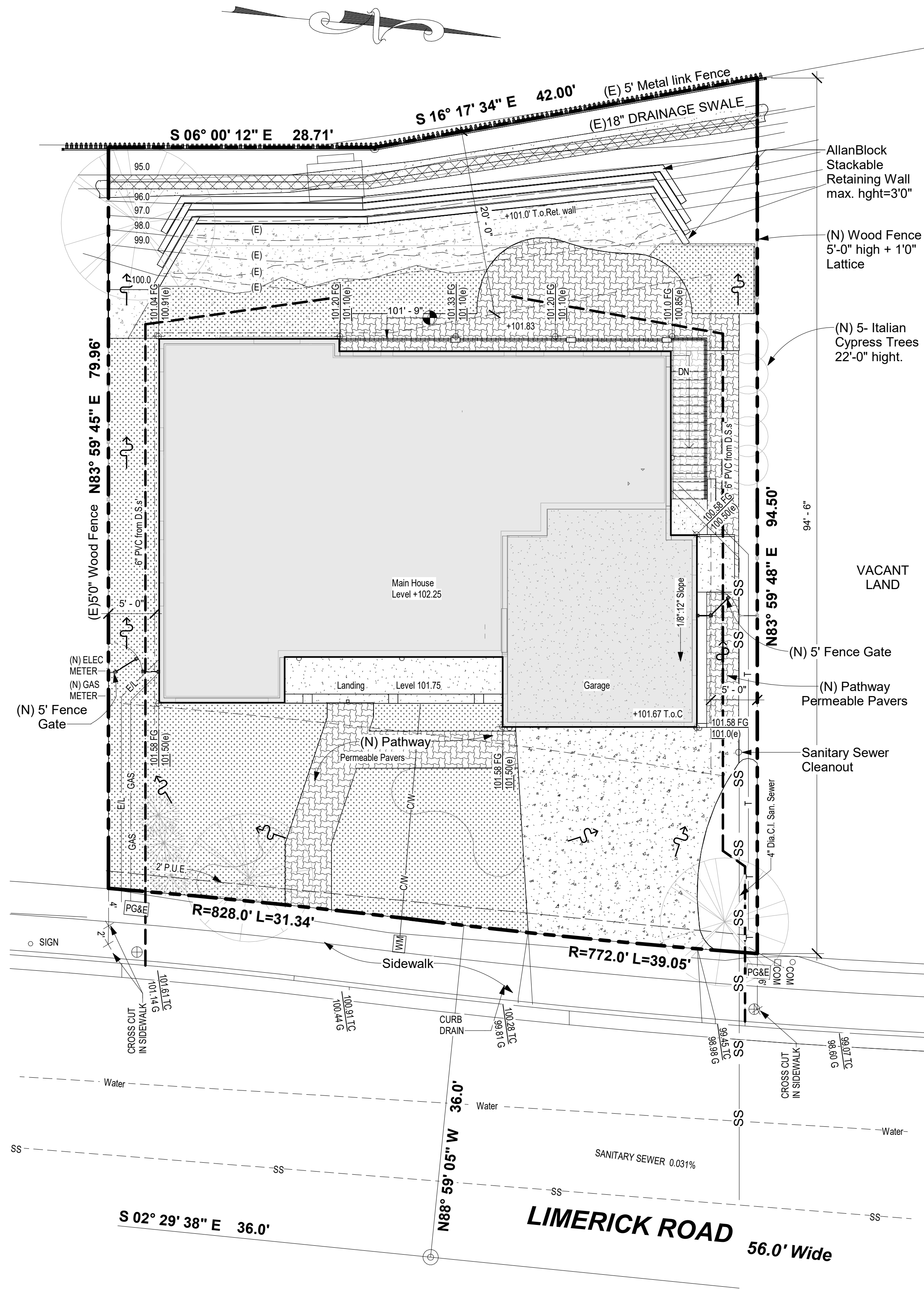
### 1 PROPOSED SITE PLAN - LANDSCAPE

scale: 1/8" = 1'-0"

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G1	DYMONDIA MARGARET AE_____NCN	FLATS	AS REQ	SPACE TRI. @ 12"o.c. 3' DEPTH	AS REQ	AS REQ
G2	BARK MULCH ONLY - MEDIUM SIZE 'WALK-ON BARK'	FLATS	AS REQ	SPACE TRI. @ 12"o.c. 3' DEPTH	AS REQ	AS REQ

No.	Description	Date





# 1 PROPOSED GRADING PLAN

scale: 1/8" = 1'-0"

--- PROPERTY LINE

- CONCRETE ON GRADE
- EXTERIOR PAVERS
- LAWN / GRASS

- DRAINAGE ARROWS
- SPOT ELEVATION
- SANITARY SEWER LINES
- WATER METER
- TOP OF CURB
- SETBACK LINE
- AllanBlock Stackable Retaining Wall



DEL TORO NEW RESIDENCE +

ADU

472 LIMERICK ROAD  
PINOLE, CA 94564

ROGELIO AND MARIA DEL TORO

PRELIMINARY GRADING PLAN

Project number 105-2019  
Date  
Drawn by Author  
Checked by Checker

A101.2

Scale 1/8" = 1'-0"

HouseCADrafting  
www.HouseCADrafting.com  
Designer: Adolfo M Martinez  
Address : 24301 Southland Dr.  
Suite 605C Hayward CA 94545  
Phone : 510-628-3033  
e-mail : adolfo@housecadrafting.com

Owner:  
ROGELIO DEL TORO  
Tel: (510) 778-0337  
e-mail:  
del.toro.cerv@gmail.com

**BATHROOM NOTES**

1. Minimum ceiling height in a bathroom is 7' clear, from the finished floor to the finished ceiling.

2. Insulation is required to be installed in all walls, floors and ceilings open for construction between conditioned space and unconditioned space, such as exteriors, garages, crawl spaces and attics. Type or insulation typically required: Walls: 2x4 R-13 or 2x6 R-19 Ceiling R-30 – Floor R-19)

3. Water resistant drywall (green-board (GB)) must be installed at all wet locations (Not recommended for direct tile application in a shower stall). GB must be installed to a point a min. of 72" above the shower drain. Do not install a vapor barrier behind GB. Do not install the GB on the ceiling unless the ceiling joist are no greater than 12" apart.

3a. Provide waterproofed material at shower walls.

3b. Exhaust fan are required in all bathroom, even if an operable window is installed. (Energy Efficiency Standard section 150.)

3c. Exhaust fan shall terminate a minimum of 3' from property line and 3' from openings into a building (CMC) 504.5) Exhaust fan at shower shall be listed for wet locations and shall be GFCI protected (CEC 210).

3d. shower enclosure door open outward and maintain 22" clearance (CPC 408.5) Shower compartment shall be a minimum 1,024 square inches encompassing a 30" circle.( CPC 408.6).

3e. Water closet maximum (maximum 1.28 GPM) shall be clear 30" wide ( 15" on center) and 24" in front.

3f. Shower heads ( Max.2.0 GPM) & Faucets (Maximum 1.5 GPM) (cpc 403.0).

3g. Bathtub whirlpools and shower valves shall be approved pressure balanced or thermostatic mixing type adjusted to a maximum of 120 degrees. (CPC 408.3).

4. Concrete board requires a vapor barrier to installed between it and the drywall and or framing. Corrosion resistant fasteners must be used.

5. Bathrooms with steam showers shall have a min. sloped ceilings 1"to 2" per foot. Walls and ceilings shall have an approved Water proofing system installed. GB PROHIBITED IN STEAM SHOWERS for tile backing.

6. Windows within 60" of the tub or shower drain require safety glazing. Windows within 24" of doorjamb shall be safety glazing.

7. All shower and tub door assemblies and glass splashguards shall be safety glazing.

8. Bathrooms, which open into kitchen, must have tight fitting doors.

**ELECTRICAL**

9. The 20-amp bathroom circuit shall only serve receptacles within the bathroom. The circuit may serve the receptacles and lights in stand-alone bathrooms. The circuit may serve multiple bathrooms for receptacles ONLY. "No motors loads shall be on the bathroom circuit.

10. Receptacles are to be located within 36" from the edge of the sink.

11. High efficacy fixtures are required or Low efficacy fixtures may be installed but only if they are equipped with an occupancy sensor that is manual-ON and automatic-OFF.

12. Hydromassage Bathtubs are required to be GFCI protected and the disconnect must be within sight of the motor. The motor must be accessible.

13. Light fixtures located in wet location must be listed for wet location and require water resistant trims.

14. Electrical panels are prohibited in bathrooms

**PLUMBING**

15. A listed anti-scald/ pressure balance valve is required in all bathtub and shower compartments.

16. The toilet must be a 1.28-gallon flush.

17. Shower waste pipe must be a minimum of 2."

18. Shower pans: minimum size 1,024 sq inches min. interior diameter 30".

19. Plastic liners and underlayment must be sloped a minimum of 1/4" to the drain and be wrapped up the wall a minimum of 3 inches above the dam. A water test is required to verify the pan does not leak and to verify the weep holes are draining correctly.

20. All new plumbing piping is required to be tested with 10' head of water above the highest fixture or an air test of 5lbs

21. Toilets require a net clear area of 30" measured from the center of the toilet and 24 "clear space in front...

22. Toilets and all plumbing fixtures must be sealed at all wall and floor penetrations

**MECHANICAL**

23. Mechanical ventilation will be required in the bathroom if no operable windows or skylights with a net clear opening of a least 5% of the floor area and equaling a minimum of 1.5 sq ft are not provided.

24. Back draft damper are required on ventilation systems exhausting to the exterior. All exhaust must be a minimum of 3' from windows and doors

25. The following items are not permitted to be located in a bathrooms: "Furnace, "water heaters and return air plenums (\* Ok if located is an adjoining closet and direct vent units or electrical appliances)

## BATHROOM NOTES

scale: 1/4" = 1'-0"

Egress Code Min. Requirement



## EGRESS WINDOW

scale: 1/4" = 1'-0"

. EXTERIOR DOOR SHALL BE SELF-CLOSING. TIGHT FITTING 1 3/8" MIN. THICKNESS, SOLID CORE & WEATHER STRIPPED.

2.ALL DOOR HINGE PINS ACCESSIBLE FROM THE OUTSIDE SHALL BE THE NON-REMOVABLE TYPE.

3.EXTERIOR SWINGING DOORS SHALL BE EQUIPPED WITH A LATCH AND KEY OPERATED DEADBOLT OR DEAD LATCH TYPE KEY LOCKING DEVICE. DEADBOLTS SHALL HAVE A HARDENED INSERT, 1" MIN. THROW AND 5/8" JAMB EMBEDMENT.

4. EXTERIOR IN-SWINGING DOORS WITH WOOD JAMB SHALL HAVE ONE PIECE OR RABBETED DOOR STOPS.

5.PANELS IN WOOD DOORS SHALL BE MIN. 9/16" THICK AND NOT MORE THAN 30 SQ. IN. AREA.STILES AND RAILS SHALL BE MINIMUM 1 3/8" THICK AND 3" IN WIDTH.

6.ALL GLASS DOORS AND DOOR PANELS SHALL BE SAFETY-GLAZED WITH TEMPERED GLASS. IN ADDITION ALL GLASS USED WITHIN 24" OF DOORS SHALL BE TEMPERED.

7.OVERHEAD AND/OR SLIDING GARAGE DOOR SHALL BE SECURED WITH A CYLINDER LOCK OR PADLOCK EQUIVALENT WHEN NOT OTHERWISE LOCKED BY ELECTRIC POWER OPERATION. JAMB LOCKS SHALL BE PROVIDED ON BOTH JAMBS FOR DOORS EXCEEDING 9'-0" IN WIDTH.

## DOOR NOTES

scale: 1/4" = 1'-0"

**Residential walls between the garage and house** are required to be 1 hour using 1 layer of 5/8" type X sheet rock applied to the garage side of the wall and must extend tightly to the under side of the roof system. All fire walls must meet the following requirements:

1. All electrical outlet boxes must be metal or 1 hour rated and shall not share a common stud

2. cell with an outlet box on the opposite side of the wall.

3. All plumbing and electrical wires penetrating the fire wall shall require a fire' stop assembly

4. rated for the application.

5. Washing machine waste boxes and water boxes installed in the fire wall shall be rated for 1 hour construction.

7. Electrical sub-panels are not permitted in fire walls. Panels may be surface mounted or furred beyond the fire wall with additional framing members, sheet rock, and fire caulking at

9. all wire penetrations. This additional stud cavity allows for a wire chase to the attic area.

10. Duct work passing through fire wall shall be 26 gauge and shall extend to the furnace

11. plenum. All duct joints shall require 3 sheet metal screws and braced every 4'.

12. The furnace-water heater platform shall require the fire wall to pass behind down to the

13. floor or blocking shall be required between studs at its top surface with minimum 1 1/8"

14. plywood decking and 5/8" type X sheet rock around its perimeter.

15. Doors between the garage and the house shall be required to be 1 3/8" solid core material

16. or a door rated for 20 minutes, self closing, self latching, and weather stripped.

## FIRE RATED

scale: 1/4" = 1'-0"

GLAZING NOTES:

SCHEDULED WINDOWS ARE LISTED IN NOMINAL SIZES.ALL SLEEPING ROOMS SHALL MEET WITH THE FOLLOWING CRITERIA:

MIN. NET CLEAR OPENABLE AREA = 5.7 SF

MIN. NET CLEAR OPENABLE HEIGHT = 24"

MIN. NET CLEAR OPENABLE WIDTH = 20"

MAX. SILL HEIGHT ABOVE FINISH FLOOR = 44"

CLASSIC VINYL/INSULATED DBL GLASS/SUNCOAT LOW-E WITH GRIDS

FOR MILGARD WINDOWS PROVIDE A 1/4"(6.35mm)

SPACE BETWEEN WINDOW FRAME & ROUGH OPENING

**GLAZING NOTES**

scale: 1/8" = 1'-0"

**MECHANICAL APPLIANCES**

RANGE:

VERT.CLEARANCE TO COMBUSTIBLES 30in.[VERT. CLEARANCE 24in. TO 28ga.

METAL OVER 1/4 in.MILLBOARD] REDUCED CLEARANCE OK PER MANUFACTURER LABELING.

GAS CONNECTOR MAX. 6FT.

GAS VALVE IMMEDIATELY AHEAD OF CONNECTOR.

RANGE HOOD DUCTS:

TERMINATE OUTSIDE MIN. 3FT. FROM OPENING OR PL MT-2.

SMOOTH INTERIOR, METAL.

BACKDRAFT DAMPER REQ'D.

## MECHANICAL APPLIANCES

scale: 1/4" = 1'-0"

**Smoke Alarms shall be installed in the following locations:**

- In each sleeping room.
- Outside each sleeping area in the immediate vicinity of the bedrooms.
- On each additional story of the dwelling, including basements but not including crawl spaces and uninhabitable attics

**Carbon Monoxide Alarms shall be installed in the following locations:**

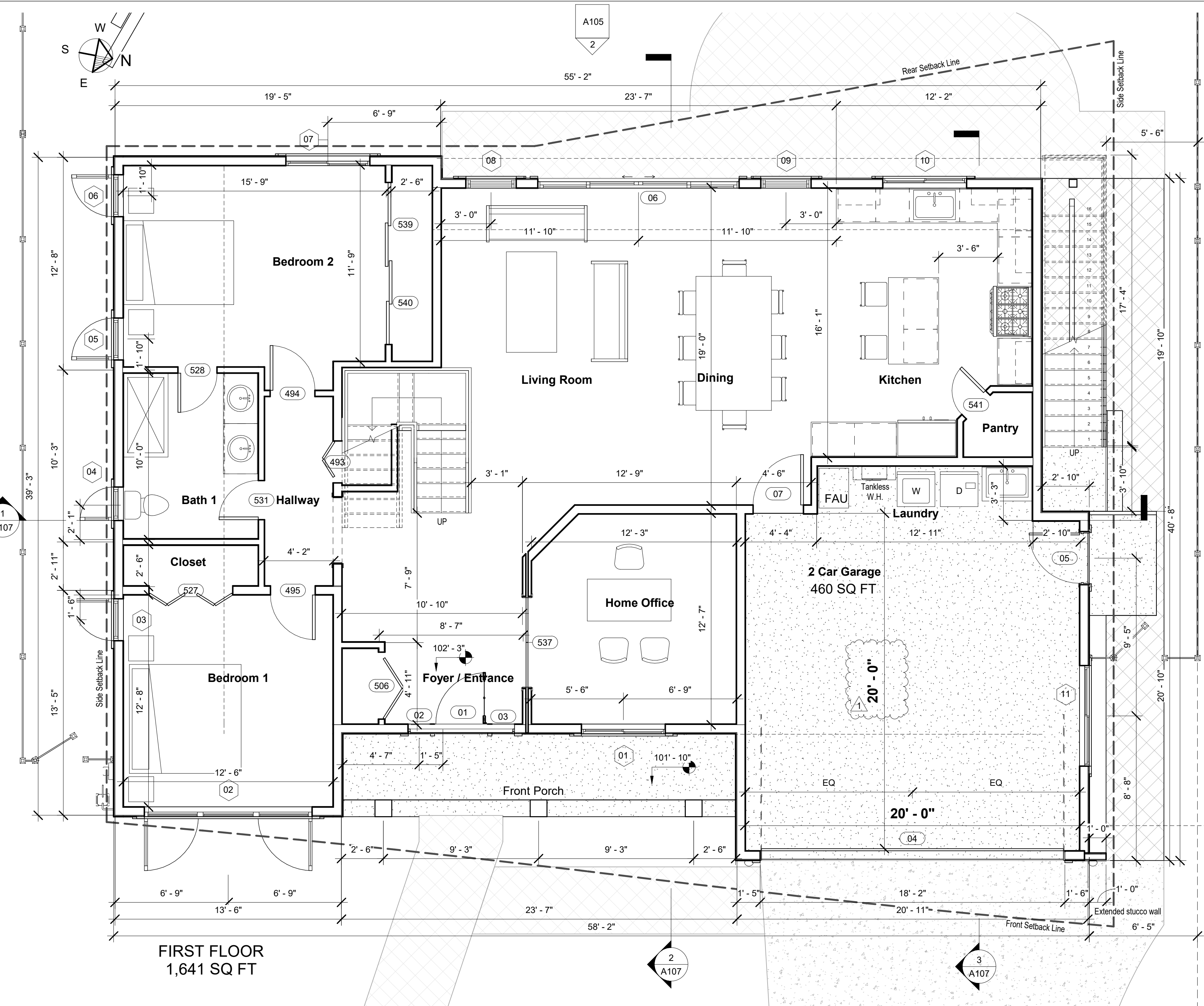
- Outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s).
- On every level of a dwelling unit including basements.

**Power and Interconnection**

- Power must be supplied by the buildings primary power source for both smoke and carbon monoxide detectors and they must have a battery back up.
- For existing buildings where walls are not being opened a battery only device may be used.
- Where more than one smoke detectors is installed they must be interconnected
- Where more than one Carbon monoxide alarm is installed they must be interconnected

## SMOKE & CARBON MONOXIDE

scale: 1/4" = 1'-0"



## PROPOSED FIRST FLOOR LAYOUT

scale: 1/4" = 1'-0"

New 1st Floor Window Schedule						
Mark	Width	Height	OmniClass Title	Phase Created	Level	Comments
01	5' - 0"	5' - 0"	Horizontal Sliding Windows	New Construction	1st F.F.	
02	10' - 0"	5' - 0"	Casement Windows	New Construction	1st F.F.	
03	2' - 6"	4' - 0"	Casement Windows	New Construction	1st F.F.	
04	2' - 0"	4' - 0"	Casement Windows	New Construction	1st F.F.	
05	2' - 6"	4' - 0"	Casement Windows	New Construction	1st F.F.	
06	2' - 6"	4' - 0"	Casement Windows	New Construction	1st F.F.	
07	5' - 0"	5' - 0"	Horizontal Sliding Windows	New Construction	1st F.F.	
08	3' - 0"	5' - 0"	Double-Hung Windows	New Construction	1st F.F.	
09	3' - 0"	5' - 0"	Double-Hung Windows	New Construction	1st F.F.	
10	5' - 0"	3' - 6"	Horizontal Sliding Windows	New Construction	1st F.F.	
11	6' - 0"	3' - 0"	Horizontal Sliding Windows	New Construction	1st F.F.	
12	6' - 4"	1' - 2"	Fixed Windows	New Construction	1st F.F.	
29	1' - 10"	2' - 3"	Unit Skylights	New Construction	1st F.F.	

WATER CONSERVING PLUMBING FIXTURE FLOW RATE

a. WATER CLOSET \_\_\_\_\_ 1.28 Gallons / Flush

b. shower Heads \_\_\_\_\_ 1.8 Gallons / minute.

c. Lavatory Faucets \_\_\_\_\_ 1.3 Gallons / minute.

d. Kitchen Faucets \_\_\_\_\_ 1.8 Gallons per minute.

## WATER FIXTURES

scale: 1/4" = 1'-0"

New 1st Floor Door Schedule						
Mark	Width	Height	Phase Created	Function	Level	Comments
01	3' - 0"	7' - 2"	New Construction	Exterior	1st F.F.	
02	1' - 2"	7' - 0"	New Construction	Exterior	1st F.F.	
03	1' - 2"	7' - 0"	New Construction	Exterior	1st F.F.	
04	18' - 0"	8' - 0"	New Construction	Exterior	1st F.F.	
05	3' - 0"	7' - 0"	New Construction	Exterior	1st F.F.	
06	12' - 0"	8' - 0"	New Construction	Exterior	1st F.F.	
07	3' - 0"	7' - 0"	New Construction	Interior	1st F.F.	
493	2' - 6"	7' - 0"	New Construction	Interior	1st F.F.	
494	2' - 8"	7' - 0"	New Construction	Interior	1st F.F.	
495	2' - 8"	7' - 0"	New Construction	Exterior	1st F.F.	
506	4' - 0"	7' - 0"	New Construction	Interior	1st F.F.	
527	5' - 0"	7' - 0"	New Construction	Interior	1st F.F.	
528	2' - 4"	7' - 0"	New Construction	Interior	1st F.F.	
531	2' - 4"	7' - 0"	New Construction	Interior	1st F.F.	
537	5' - 4"	7' - 0"	New Construction	Interior	1st F.F.	
539	5' - 0"	7' - 0"	New Construction	Interior	1st F.F.	
540	5' - 0"	7' - 0"	New Construction	Interior	1st F.F.	
541	2' - 0"	7' - 0"	New Construction	Interior	1st F.F.	



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DEL TORO NEW RESIDENCE +  
ADU

472 LIMERICK ROAD  
PINOLE, CA 94564

No.	Description	Date
1	Planning	08/13/20

ROGELIO AND MARIA DEL TORO

PROPOSED FIRST FLOOR PLAN

Project number	105-2019
Date	
Drawn by	Author
Checked by	Checker

A102

Scale As indicated



New 2nd Floor Window Schedule						
Mark	Width	Height	OmniClass Title	Phase Created	Level	Comments
12	10' - 0"	5' - 0"	Casement Windows	New Construction	2nd F.F.	
13	2' - 6"	4' - 0"	Casement Windows	New Construction	2nd F.F.	
14	2' - 6"	4' - 0"	Casement Windows	New Construction	2nd F.F.	
15	2' - 6"	4' - 0"	Casement Windows	New Construction	2nd F.F.	
16	5' - 0"	5' - 0"	Horizontal Sliding Windows	New Construction	2nd F.F.	
17	5' - 0"	5' - 0"	Horizontal Sliding Windows	New Construction	2nd F.F.	
18	5' - 0"	5' - 0"	Horizontal Sliding Windows	New Construction	2nd F.F.	
19	5' - 0"	3' - 6"	Horizontal Sliding Windows	New Construction	2nd F.F.	
20	5' - 0"	3' - 6"	Horizontal Sliding Windows	New Construction	2nd F.F.	
21	4' - 0"	2' - 0"	Horizontal Sliding Windows	New Construction	2nd F.F.	
22	2' - 0"	4' - 0"	Casement Windows	New Construction	2nd F.F.	
23	10' - 0"	5' - 0"	Casement Windows	New Construction	2nd F.F.	
24	2' - 0"	3' - 6"	Casement Windows	New Construction	2nd F.F.	
25	5' - 0"	3' - 6"	Sliding Windows	New Construction	2nd F.F.	
26	2' - 0"	3' - 6"	Casement Windows	New Construction	2nd F.F.	
27	1' - 10"	2' - 3"	Unit Skylights	New Construction	2nd F.F.	
28	1' - 10"	2' - 3"	Unit Skylights	New Construction	2nd F.F.	

New 2nd Floor Door Schedule						
Mark	Width	Height	Phase Created	Function	Level	Comments
08	2' - 8"	7' - 0"	New Construction	Exterior	2nd F.F.	
09	3' - 6"	7' - 0"	New Construction	Exterior	2nd F.F.	
10	2' - 4"	7' - 0"	New Construction	Interior	2nd F.F.	
11	4' - 6"	7' - 0"	New Construction	Interior	2nd F.F.	
12	2' - 8"	7' - 0"	New Construction	Interior	2nd F.F.	
13	4' - 0"	7' - 0"	New Construction	Interior	2nd F.F.	
509	2' - 8"	7' - 0"	New Construction	Interior	2nd F.F.	
511	6' - 0"	7' - 0"	New Construction	Interior	2nd F.F.	
517	2' - 6"	7' - 0"	New Construction	Interior	2nd F.F.	
534	2' - 8"	7' - 0"	New Construction	Interior	2nd F.F.	

STAIR NOTES Per 2016 CRC Section R311.7.  
HANDRAIL:  
HANDRAIL HEIGHT MIN. 34" & MAX. 38"  
GRIP MUST BE 1 1/4"-2" CIRCULAR CROSS SECTION.  
HANDRAIL ON OPEN SIDE OF STAIRS MUST NOT ALLOW 4"  
SPHERE TO PASS THROUGH.  
MAX. RISER-7 3/4"- MIN. 4"  
MIN. TREAD DEPTH 10".  
NOSING MIN. 3/4" MAX. 1 1/4"

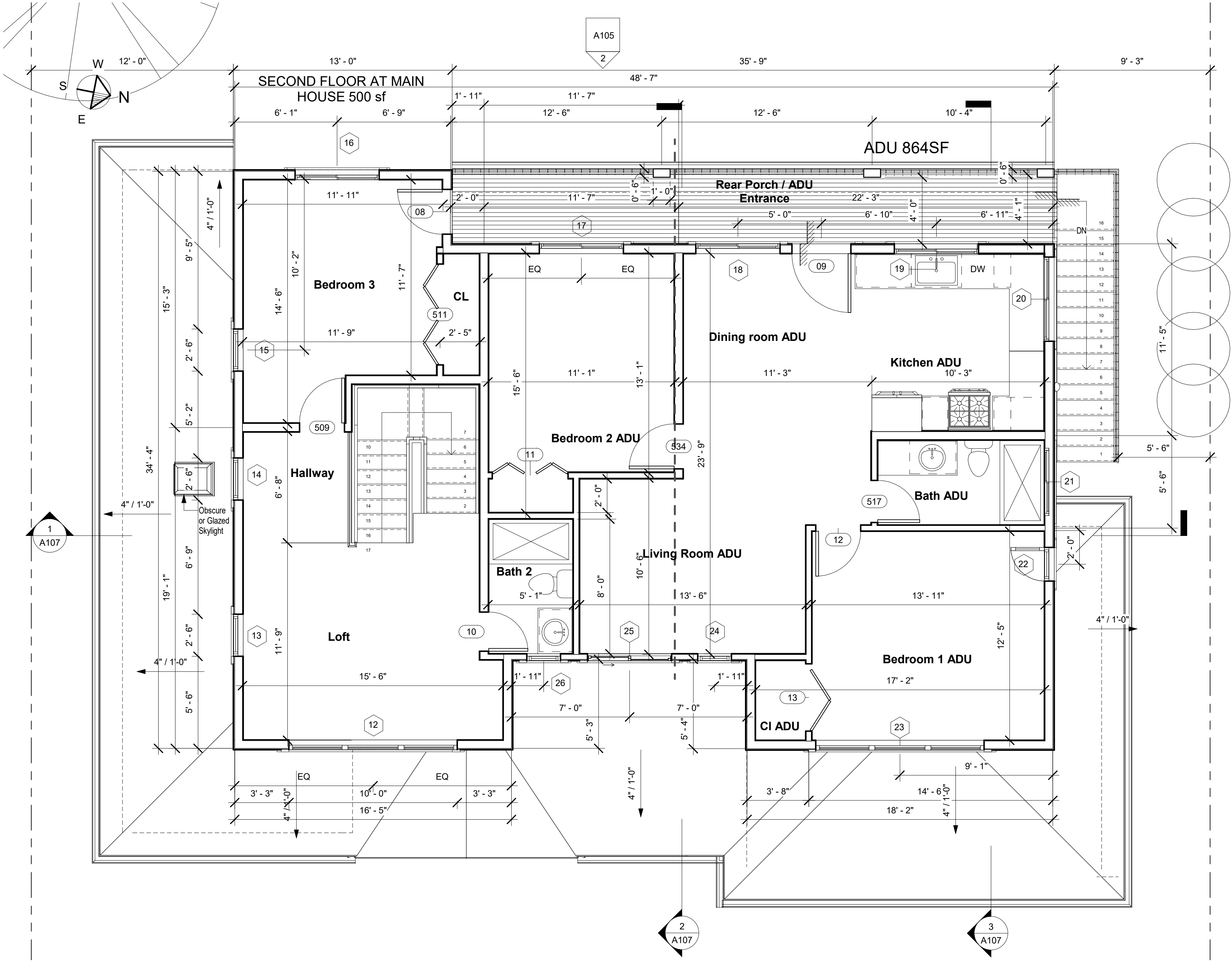
### STAIR NOTES

scale: 1/4" = 1'-0"

WATER CONSERVING PLUMBING FIXTURE FLOW RATE  
a. WATER CLOSET \_\_\_\_\_ 1.28 Gallons / Flush  
b. shower Heads \_\_\_\_\_ 1.8 Gallons / minute.  
c. Lavatory Faucets \_\_\_\_\_ 1.3 Gallons / minute.  
d. Kitchen Faucets \_\_\_\_\_ 1.8 Gallons per minute.

### WATER FIXTURES

scale: 1/4" = 1'-0"



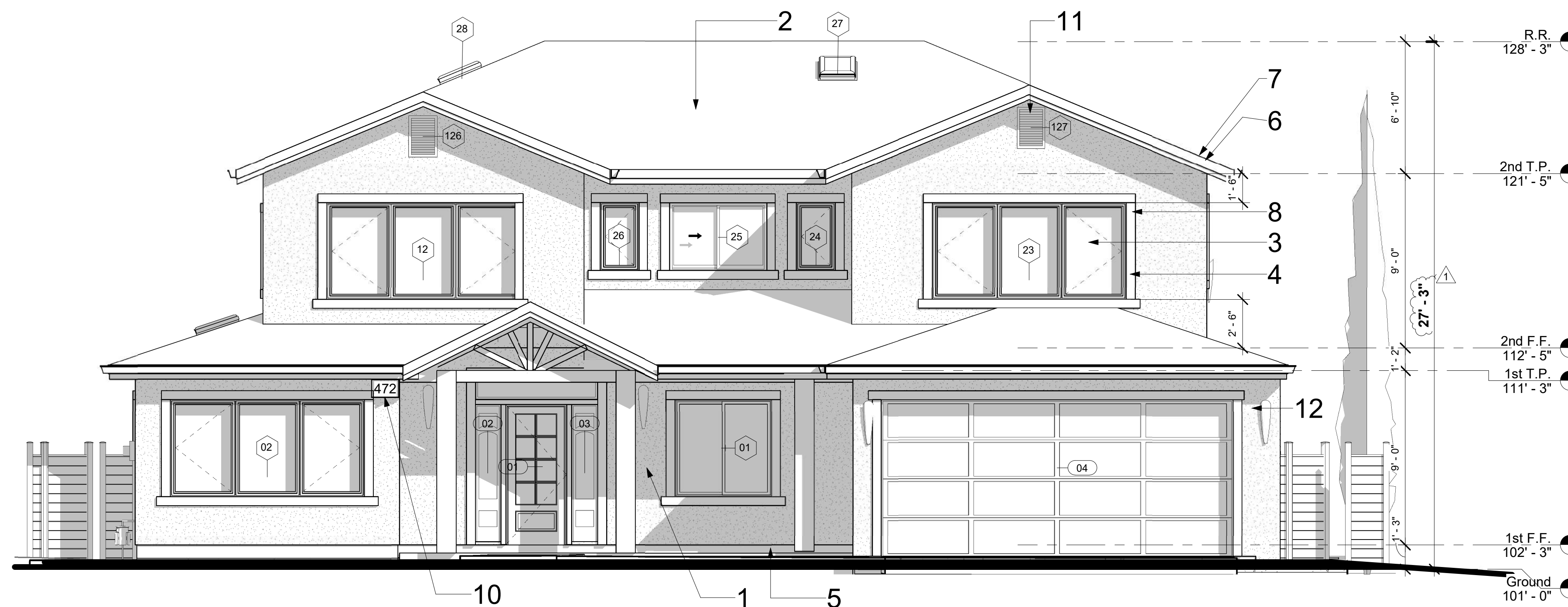
## 1 PROPOSED SECOND FLOOR

scale: 1/4" = 1'-0"

No.	Description	Date



**2 WEST SIDE VIEW**  
scale: 1/4" = 1'-0"



**1 EAST SIDE VIEW**  
scale: 1/4" = 1'-0"

**EXTERIOR ELEVATION NOTES:**

- 7/8" Cement plaster, 3 coats o/ metal lath o/ layers of "D" building paper o/ ply sheathing (LaHabra , Pacific sand x97 base 200 )
- Roofing: American Eagle 4560 Caliente; Profile Bel Air. Class "A"
- Windows: 'Millgard' or similar vinyl dual glazed windows, color white.
- Windows Trims: 1 in. x 5-1/2 in. x X in. Polyurethane Window or Door Flat Trim painted with accent color By Owner.
- Weep Screed: @+4" min above finished grade or +2" above conc. Porch.
- Fascia Gutter: G.I. Fascia gutter painted.
- Fascia Board painted, color same as gutter
- Window Sill: Cement plasters o/ foam trim, painted with accent color By Owner.
- G.I. wall to roof Flashing painted
- Address shall be internally lit during non daylight hours . Switching shall be controlled by the clock or photo sensor. Address numbers shall read from left to right with 4" hight minimum on a contrastting background.
- Gable vent 16"x24".
- Lighting-Wall\_Mount-Lutron\_Ivalo-Aliante\_Demi\_Sconce with photocell and Motion sensor.



HouseCADrafting

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**DEL TORO NEW RESIDENCE +  
ADU**

**472 LIMERICK ROAD  
PINOLE, CA 94564**

No.	Description	Date
1	Planning	08/13/20

**ROGELIO AND MARIA DEL TORO**

**ELEVATIONS**

Project number 105-2019  
Date

Drawn by Author

Checked by Checker

**A105**

Scale 1/4" = 1'-0"

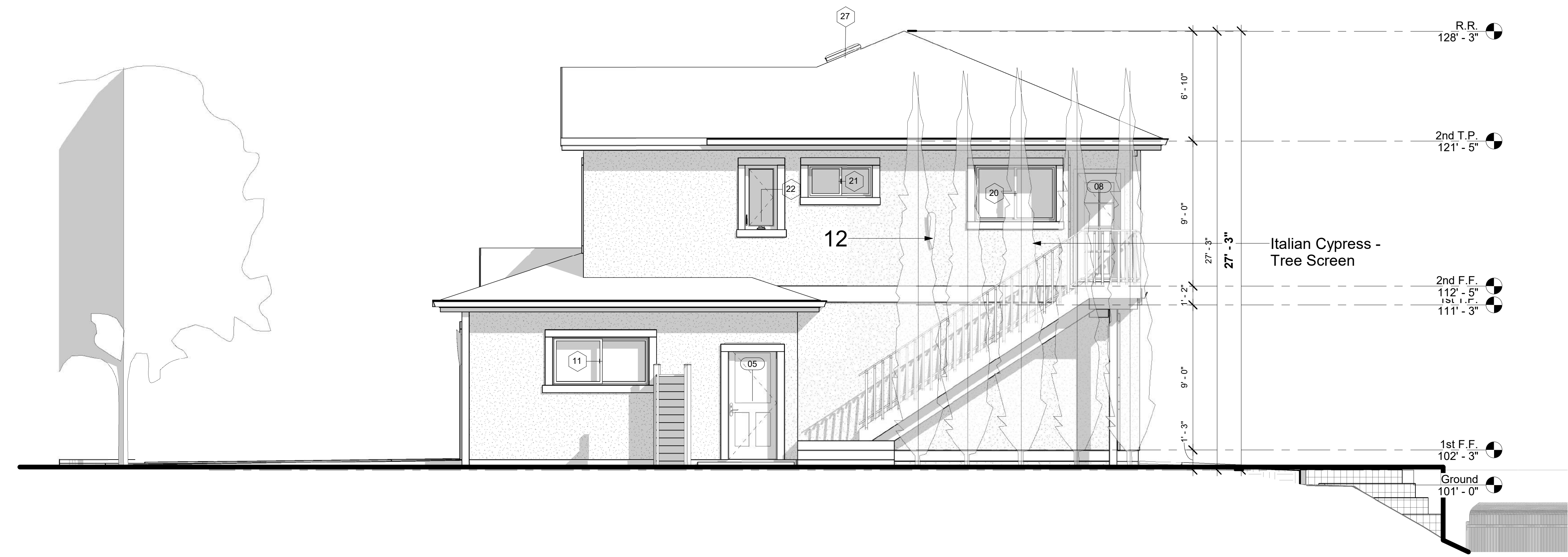
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No.	Description	Date
1	Planning	08/13/20

Project number	105-2019
Date	
Drawn by	Author
Checked by	Checker



2 SOUTH SIDE VIEW  
scale: 1/4" = 1'-0"

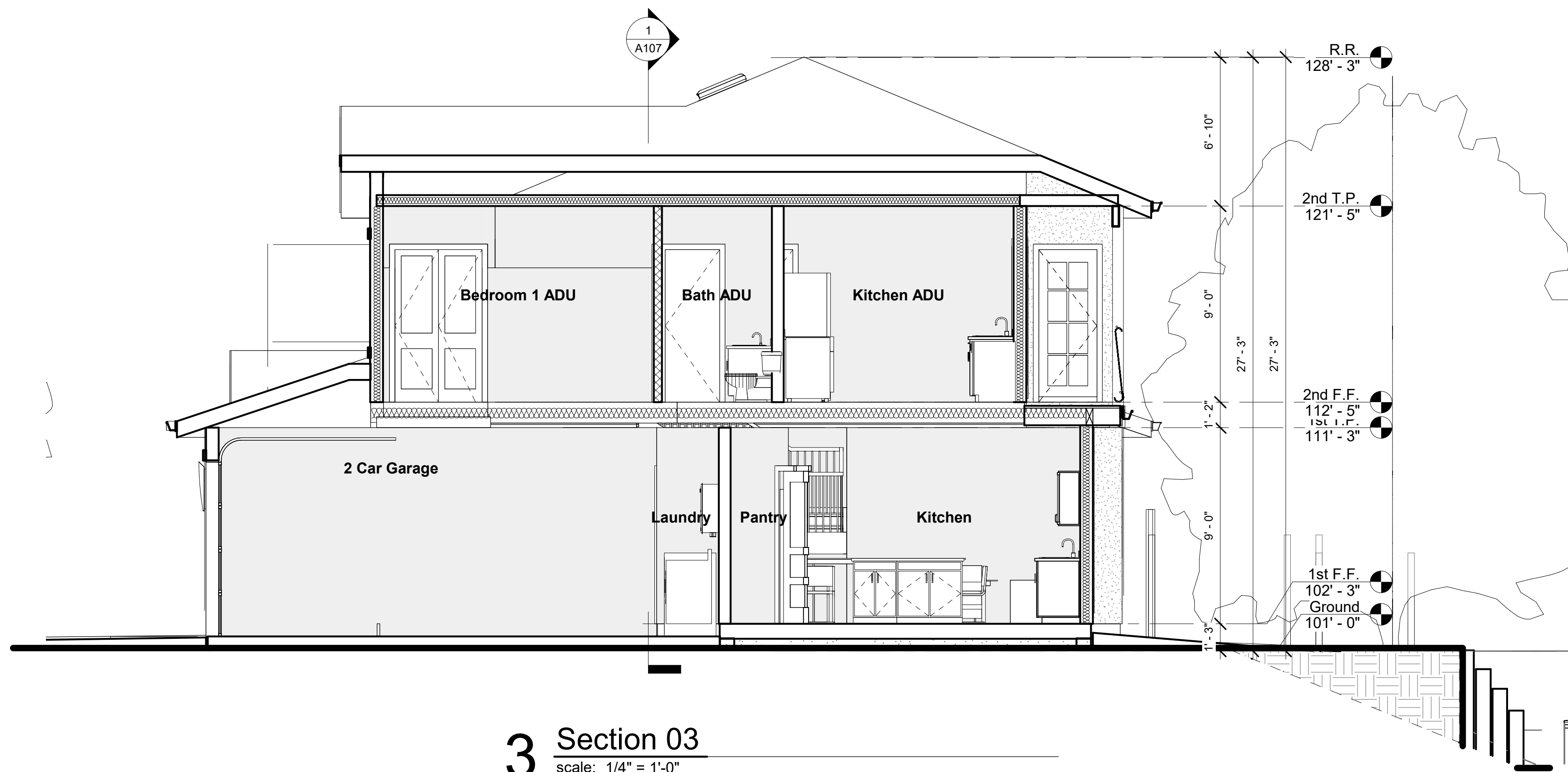


1 NORTH SIDE VIEW  
scale: 1/4" = 1'-0"

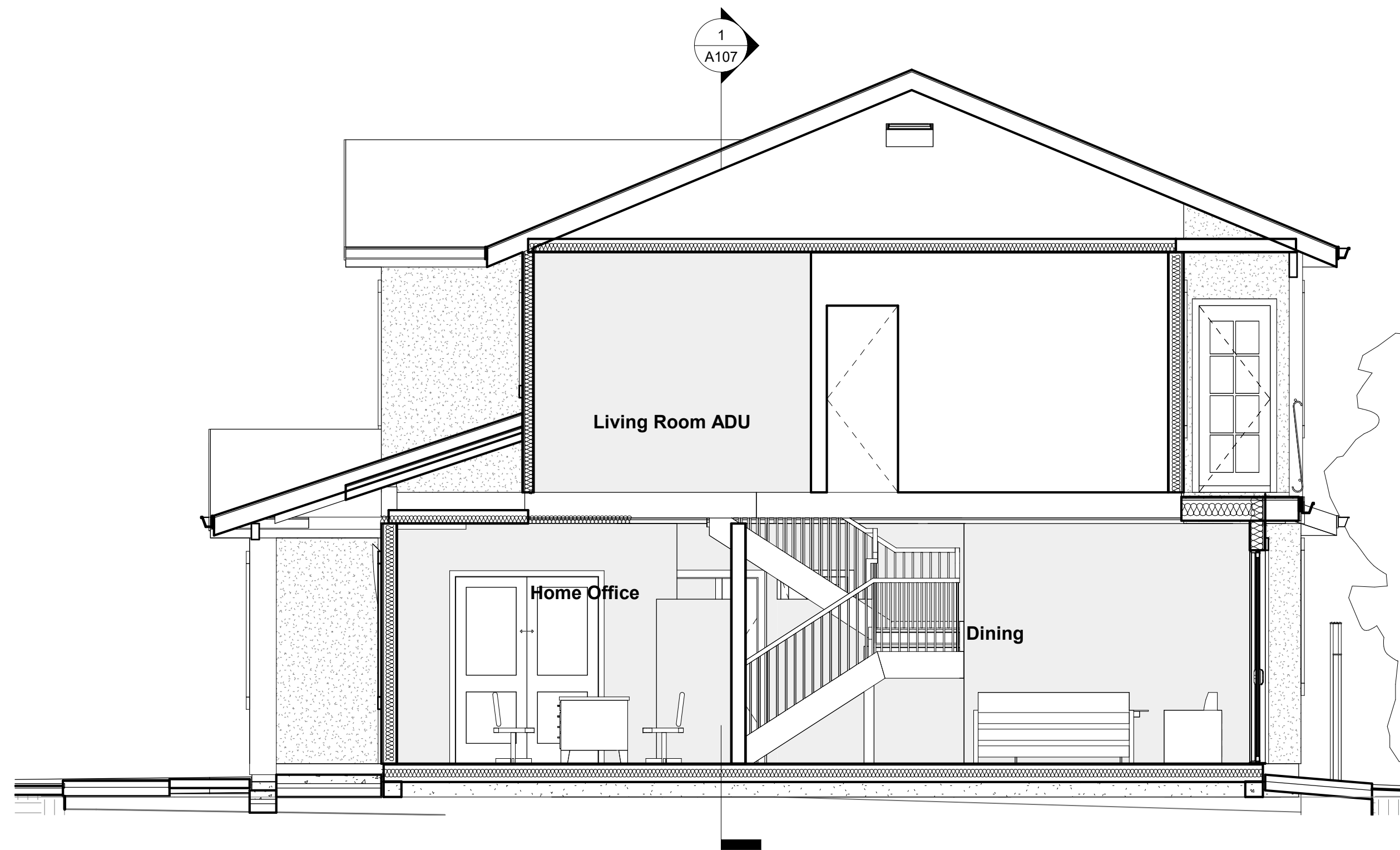
EXTERIOR ELEVATION NOTES:

- 7/8" Cement plaster, 3 coats o/ metal lath o/ layers of "D" building paper o/ ply sheathing (LaHabra , Pacific sand x97 base 200).
- Roofing: Composition Shingle CertainTeed. Wetherwed Wood-color.40 Years. - color. Min Class "B"
- Windows: 'Millgard' vinyl dual glazed windows, color white.
- Windows Trims: 1 in. x 5-1/2 in. x X in. Polyurethane Window or Door Flat Trim painted with accent color By Owner.
- Weep Screed: @+4" min above finished grade or +2" above conc. Porch.
- Fascia Gutter: G.I. Fascia gutter painted.
- Fascia Board painted, color same as gutter.
- Window Sill: Cement plasters o/ foam trim, color to match building.
- G.I. wall to roof Flashing painted.
- Gable vent 16"x24".

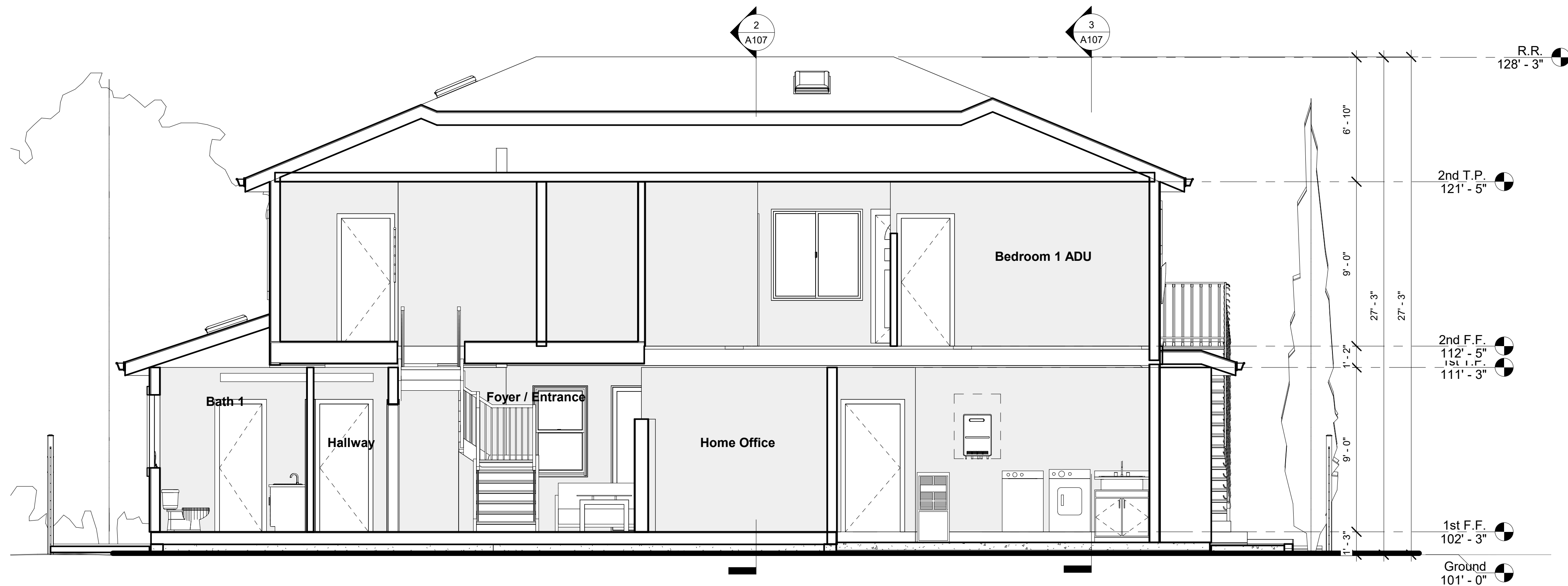




**3** Section 03  
scale: 1/4" = 1'-0"



**2** Section 02  
scale: 1/4" = 1'-0"



**1** Section 01  
scale: 1/4" = 1'-0"



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No.	Description	Date

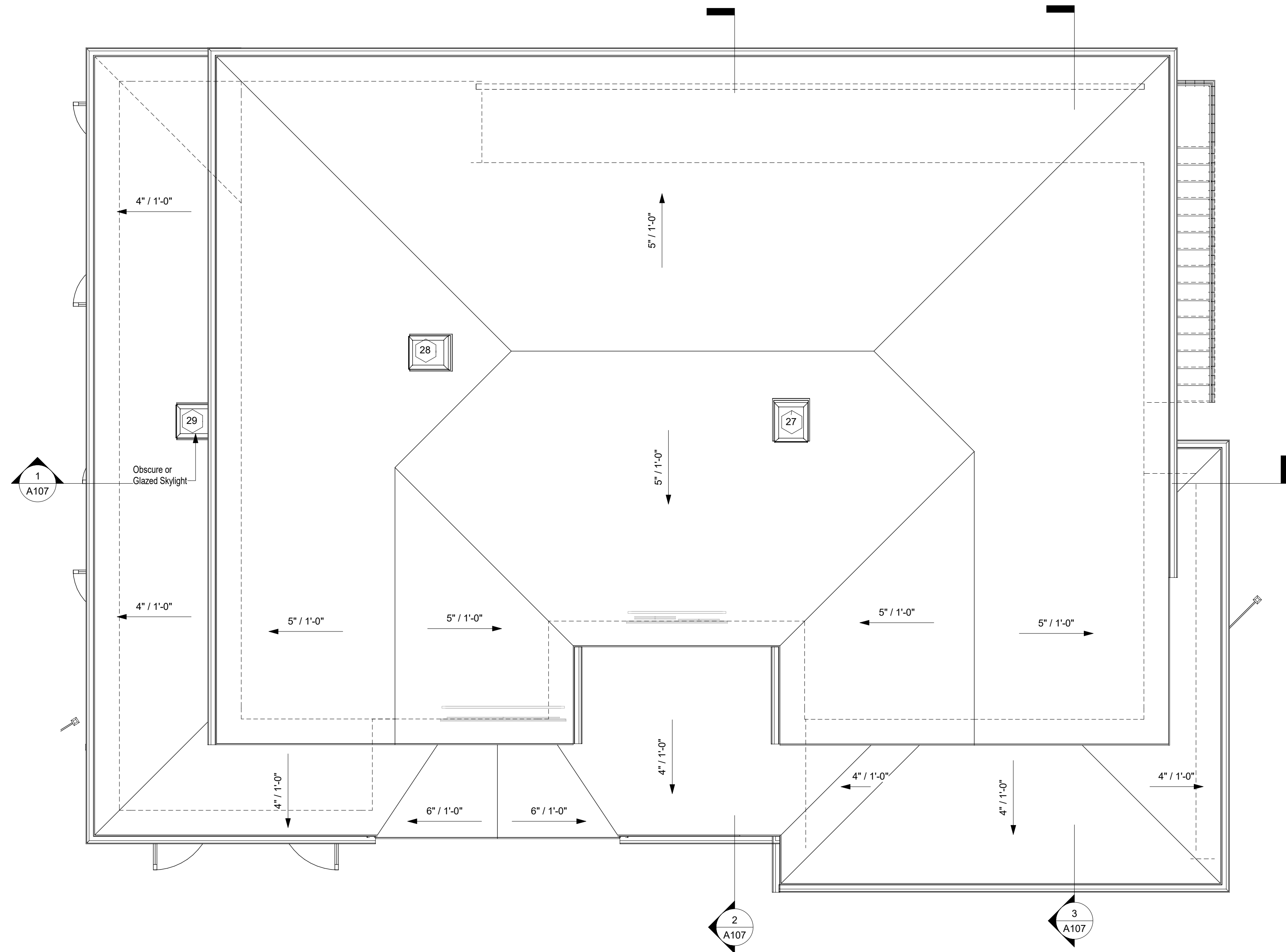
**ROGELIO AND MARIA DEL TORO**  
**BUILDING SECTIONS**

Project number 105-2019  
Date  
Drawn by Author  
Checked by Checker

**A107**

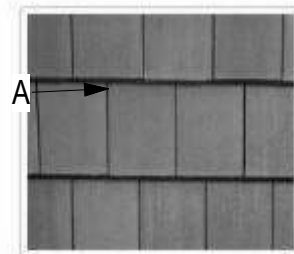
Scale 1/4" = 1'-0"

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1 PROPOSED ROOF PLAN  
scale: 1/4" = 1'-0"

4560 CALIENTE

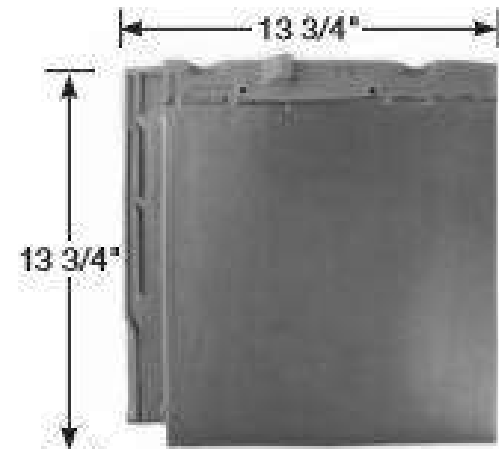


Profile: Bel Air  
Color Description: Hues of Red, Yellow Streaks  
Regions Available: southern-californiaSS northern-californiaSS intermountainSS pacific-northwestSS hawaiiSS

Ref	Aged Ref. (3 yr)	EMI	Aged EMI (3 yr)	SRI	Aged SRI (3 yr)	CRR C
0.28	0.27	0.88	0.9	28	28	0918-0011



CC/Codes, Certifications  
IAPMO Uniform Evaluation Report No. 0356 (covers City of Los Angeles and is in lieu of ICC-ES) Class A, E108 (UL790)  
ASTM C1167, Grade 1  
TDI Approval RC-21



**TILE SPECIFICATIONS:**

Actual Size:	13 3/4" x 13 3/4"
Exposed Size:	11 1/8" x 12"
Weight per Square:	879 lbs.
Weight per Piece:	8.14 lbs.
No. of Pieces per Square:	108 pcs

**METRIC TILE SPECIFICATIONS:**

Actual Size:	345mm x 345mm
Exposed Size:	282mm x 305mm
Weight per M2:	42.8 kg
Weight per piece:	3.69 kg
No. of Pieces per M2:	11.6 pcs

Metric conversion of lumber is actual dimensions of lumber; use lumber of the closest dimensions available.

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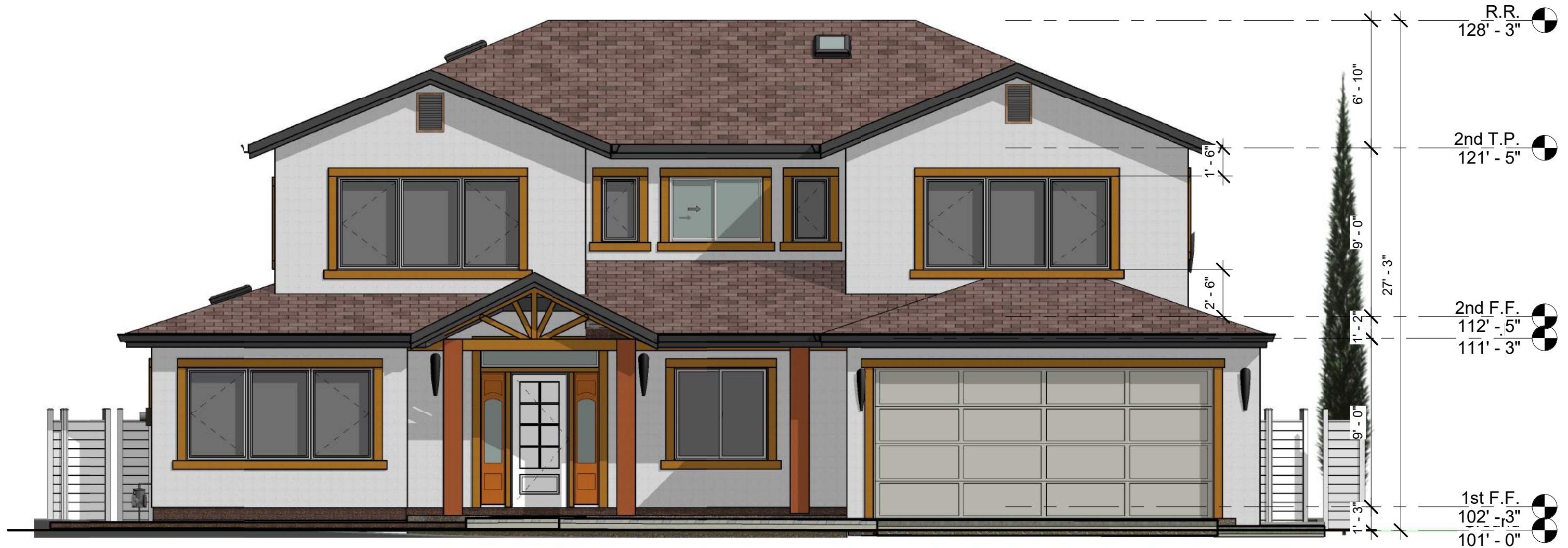
No.	Description	Date

ROGELIO AND MARIA DEL TORO  
PROPOSED ROOF PLANS

Project number	105-2019
Date	
Drawn by	Author
Checked by	Checker

A108  
Scale 1/4" = 1'-0"





1  
La Habra Stucco  
finish Color Agate  
P-505 / Base 200



American Eagle  
4560 Caliente  
Flat Roof Tile  
Ref. 0.28 / Aged Ref (3Year)  
EMI 0.88 / SRI 28 / CRRC 0918-0011

# 1 Color Elevation Render

scale: 3/16" = 1'-0"



Grandentry Doors  
Andalucia 6-Lite True  
Divided Lite Entry Door  
with Sidelites & Transom



Iron Guardrail and  
Handrail at ADU  
access.  
Max. separation  
on bal. 3-3/4



1 in. x 5-1/2 in. x 96  
in. Polyurethane  
Window or Door  
Flat Trim painted  
with accent color.  
By Owner

Exterior Lights



**Aliante Demi**  
Aliante demi sconce is designed for exterior/interior use: flanking doors  
and between windows/elevators.  
• Length: 21 in or 27 in (27 in mount available for exterior models)  
• Light orientation: direct/indirect or indirect only  
• Lamp: 95 CRI LED (2700K, 3000K, or 3500K), CFL or incandescent\*  
• ENERGY STAR® compliant options



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ROGELIO AND MARIA DEL TORO

DEL TORO NEW RESIDENCE + ADU

No.	Description	Date
1	Planning	08/13/20

RENDERING

Project number	105-2019
Date	
Drawn by	Author
Checked by	Checker

A110.1

Scale 3/16" = 1'-0"





2 Color Rendering Rear View  
scale:

1 Color Rendering North East View  
scale:



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ROGELIO AND MARIA DEL TORO

DEL TORO NEW RESIDENCE + ADU

No.	Description	Date

### 3D View Rendering

Project number	105-2019
Date	
Drawn by	Author
Checked by	Checker

A110.2

Scale



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## Memorandum

**TO:** Planning Commission

**FROM:** David Hanham, Planning Manager

**SUBJECT:** Outreach to the Community from the Planning Commission

**DATE:** November 30, 2020

---

Planning Commissioners:

At our last meeting, I was tasked with contacting our surrounding communities regarding outreach programs by Planning Commissions. The purpose was to get the public involved, not only during the pandemic but also when we return to the dais.

After reaching out to Hercules, San Pablo, Richmond, El Cerrito and Martinez, none of the Planning Commissions have outreach programs. In most cases, the other jurisdictions leave it up to their respective City Councils.

All of the cities follow very similar formats in terms of outreach to the residents. They all send out the public notices anywhere from the required 300 to 500 feet, to approximately 1000 feet based on the project, web site, public access TV, etc. Right now, all of the Cities are using the zoom formats (virtual meetings)

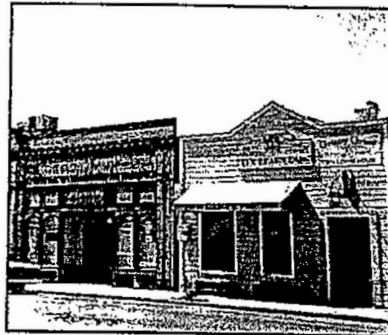
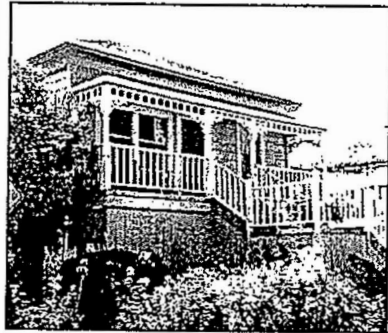
In the case of Pinole, we do those similar things. For tonight's discussion, we can become creative in our ways to communicate with the public.

### **Recommendation:**

Staff recommends that if there are some ideas that we think will allow people to have more access to the Planning Commission, that follow-up be completed and brought back to the Planning Commission and recommended to the City Council for approval.



# Old Town Design Guidelines



Adopted  
Feb. 4, 1997  
via City Council  
Resolution  
106-97

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## ***Section 1: Introduction***

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In December of 1995 the City Council appointed a fifteen member Old Town Design Guidelines Review Committee. The committee's broad charge was to draft a set of design guidelines that would help enhance the positive qualities of Pinole's commercial downtown and protect the livability of its residential neighborhoods. The committee members were chosen for their varied perspectives and the knowledge and skill they would bring to this process.

These design guidelines were drafted to assist those people engaged in the design, construction, review and approval of development projects in the City of Pinole. They are intended as a reference point from which all persons involved in the development process can gain a common understanding of the minimum design expectations in the City of Pinole. Architects, designers and developers are urged to become familiar with these design guidelines and to apply them to the design of projects from the very beginning. Architects, designers and developers are also urged to recognize that these design guidelines are minimums.

These design guidelines identify techniques and minimum standards for achieving the level of design quality the citizens of Pinole have come to expect in commercial and residential development within Old Town. They are offered as one way of achieving attractive and functional projects which compare favorably with the established community character. No claim can be made, however, that these design guidelines encompass every possible technique for achieving a high level of design quality. Architects, designers and developers are therefore, encouraged to use their own creativity and experience to improve upon the means for achieving individual objectives.

## **1.1 The Boundaries**

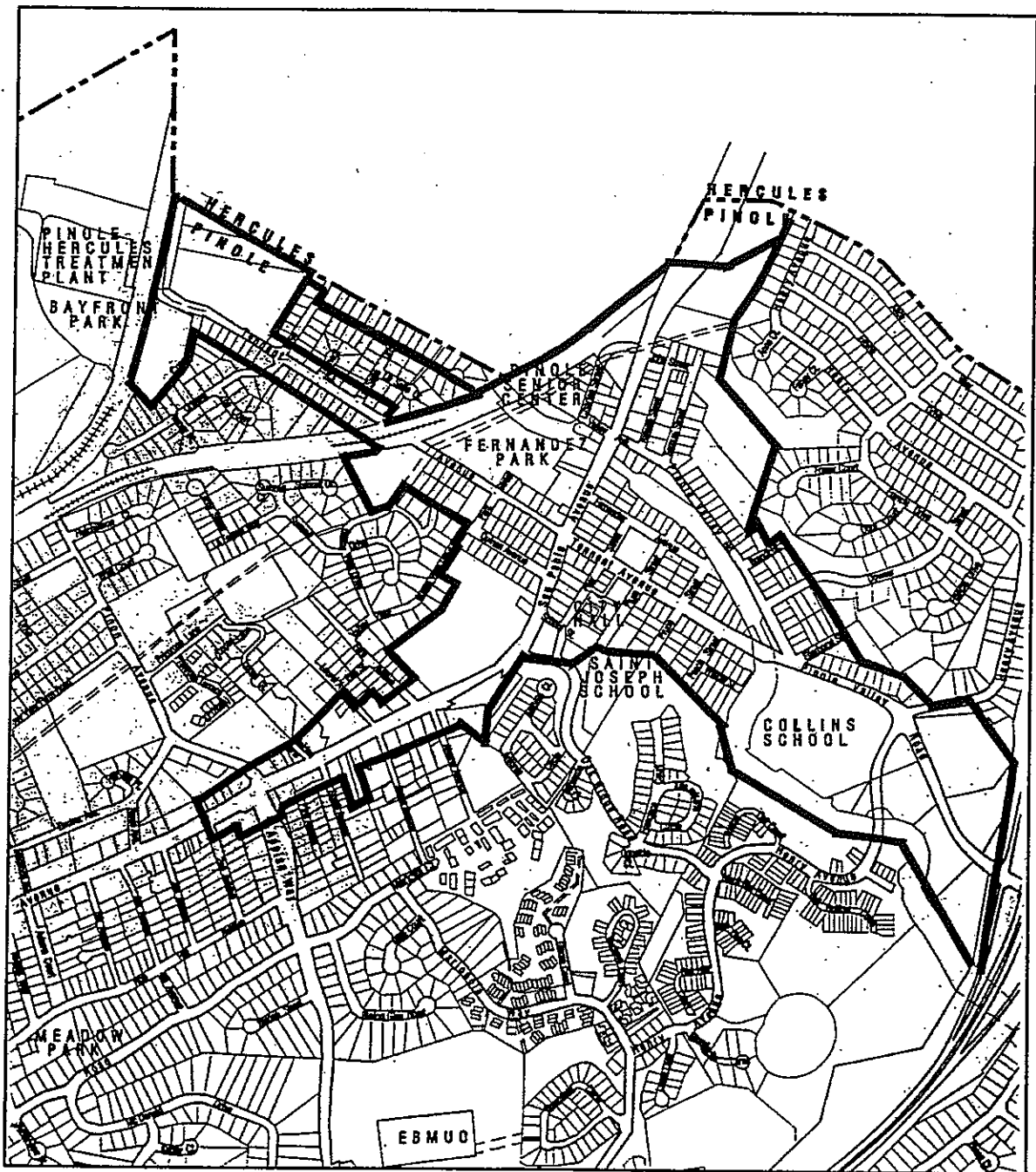
The area affected by these design guidelines is called the Old Town Design Guidelines Overlay District. The area's boundaries extend north from Interstate 80 along Pinole Valley Road and Tennent Avenue to San Pablo Bay and west from the Hercules/Pinole border along San Pablo Avenue to Second Avenue. Refer to Map 1.

The Old Town Design Guidelines Overlay District contains Pinole's greatest concentration of historic commercial and residential buildings, especially along San Pablo Avenue which forms the spine of this area. These buildings serve as a link to Pinole's cultural heritage and establish a model for design ideas. In some cases certain downtown buildings are connected with notable people and events. Others help establish a street scene that conveys a sense of place and time. They also provide a richness of character, texture and human scale that is one of Pinole's greatest assets. The Old Town Design Guidelines Overlay District was proposed in recognition that development within this area should be managed in a way that protects Pinole's heritage and enhances its economic viability.

## **1.2 Goals**

These design guidelines establish a special commitment to maintaining and enhancing the visual character of the area located within the boundaries of the Old Town Design Guidelines Overlay District. As discussed above, these design guidelines are intended to put in place an explanation of the expected design standards when commercial and/or residential development is planned within the boundaries of the Old Town Design Guidelines Overlay District. The general goals of these design guidelines are to:





Map 1: Old Town Design Guidelines Overlay District

- Preserve the integrity of the historic architectural features of individual commercial and residential buildings located within the Old Town Design Guidelines Overlay District.
- Minimize alterations and new construction that weaken the historic integrity of individual commercial and residential buildings and of the Old Town Design Guidelines Overlay District.
- Encourage new commercial and residential development that respects and enhances the visual characteristics of the Old Town Design Guidelines Overlay District.
- Instill a sense of “pride of place” built upon Pinole’s unique history and character.
- Create an attractive environment which is active throughout the day and evening.
- Maintain a consistently high level of design quality.

These design guidelines address issues of compatibility, project function and aesthetics. They also help to ensure that any new commercial development will preserve and improve the positive character of existing neighborhoods and that any negative impacts on nearby residences are minimized or avoided. Finally, these design guidelines will encourage the provision of efficient vehicular movement and pedestrian circulation.

### **1.3 Organization**

Design guidelines for new commercial and residential construction and for the renovation of existing commercial and residential buildings comprise the bulk of this document. A special section which discusses a regionally serving commercial area, located within the Old Town Design Guidelines Overlay District boundaries, is also included. This special section is quite different

from the commercial section which deals primarily with the commercial buildings located along San Pablo Avenue.

Special sensitivity to scale and use are required when developing along Pinole Creek. Several concepts to be used are described within the commercial, residential and regional sections. The Old Town Design Guidelines also include regulations for sign design. Sensitive design of signage will improve the visual quality and functioning of the downtown area.

## ***Section 2: The Setting***

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The City of Pinole is located in West Contra Costa County, adjacent to the San Pablo Bay. Interstate 80, which traverses the City, connects the San Francisco/Oakland metropolitan area with Sacramento and points east. Pinole is linked to Central Contra Costa County and the cities of Martinez, Concord and Pleasant Hill by State Route 4, which begins just north of the City and connects with Interstate 680.

Surrounding communities include the unincorporated areas of Montara Bay, Rancho Road and El Sobrante, and the cities of Richmond and Hercules. The planning jurisdictions in the West County Planning Area, as defined in the Contra Costa County General Plan, are comprised of the cities of Pinole, El Cerrito, Richmond, Hercules, San Pablo and Contra Costa County.

### **2.1 History of Pinole**

Native American settlement of the West Contra Costa shoreline began at least 5,000 years ago. The Pinole region was home to the Huchium Indians, whose territory extended from Berkeley to somewhere between Rodeo and Crockett. The recorded history of Pinole dates back to the early 1700s when a Spanish commandant, Don Pedro Fages, led an exploration through Contra Costa County. With a small band of soldiers and a Native American guide, Don Pedro Fages left Monterey and traveled northward until he reached the area known today as Pinole.

In 1823 Don Ignacio Martinez, commandant of the Presidio of San Francisco, received a land grant from the Mexican government. This land grant comprised over 17,000 acres and was known as "El Pinole."

During the 1850s Bernardo Fernandez started a trading facility on the shores of San Pablo Bay and eventually built the historic Fernandez Mansion which still stands

today at the end of Tennent Avenue. From these early beginnings a small but thriving community grew into the city we now know as Pinole.

One of the earliest Anglo-American settlers in Contra Costa County was Dr. Samuel J. Tennent who married Rafaela Martinez, the daughter of Ignacio Martinez. In 1851 the Tennents built their home one half mile from the Tennent Avenue Creek bridge on Valley Road. Dr. Tennent and his wife Rafaela owned much of the vacant land in Pinole.

The advance of the Southern Pacific Railroad allowed the California Powder Works Company to move to what became Hercules, Pinole's neighbor to the north. The company built both the plant and its houses and became the largest producer of dynamite in the world by the turn of the century. The town of Pinole became a service center for the plant and the success of the plant directly impacted the development of Pinole.

Edward M. Downer came to Pinole in 1889 and went to work as a dispatcher and station agent for the Southern Pacific train depot, located at the end of Tennent Avenue. He became one of the most influential and prominent business figures in Pinole and its surrounding areas including Rodeo, Crockett, Port Costa, Richmond, El Cerrito and Albany. His great success was due to a chain of banking houses which he established in these cities and to his civic efforts and successes. A house built by the Downer family stands today along San Pablo Avenue, at the east end of Old Town.

The Old Town area of Pinole is unique. Despite rapid growth since the 1950s, Old Town has retained a great deal of its historic and architectural character. A large number of historic residences, primarily Queen Anne and Italianate cottages, remain in good condition. Many of the old commercial buildings are still in use today.

## 2.2 Commercial Design Themes

The historic commercial buildings include two story masonry structures, false front type wood frame structures and stucco or plaster structures. Many of these structures were built in the early twentieth century with the shift of the commercial area away from the wharf to San Pablo Avenue, which was the major artery north from the East Bay. The buildings are located on San Pablo between Tennent Avenue and Valley Avenue. The best example of this early period is the Bank of Pinole Building located on San Pablo Avenue.

In addition to the historic commercial buildings, discussed above, there are a number of more modern buildings that were built between 1960-1990. These buildings are either masonry, wood sided or stucco structures. Many of these buildings do not add to the historic quality and character exemplified by many of the older commercial buildings.

## 2.3 Residential Design Themes

The main historical residential design themes present in Pinole can be categorized as follows:

- Queen Anne Cottages (1880 - 1905)
- Hip Roof Cottages (1870 - 1910)
- Bungalows (1915 - 1930)

All of these homes were built for individuals who worked in Pinole or at the Hercules Powder Plant, the main industry from 1879 to the 1970s. Due to the stability of this main industry, Pinole's residential neighborhoods were not exposed to major changes created by land development or speculation. These homes are simple in character and gain their importance by their neighborhood groupings.

Remaining examples of the Queen Anne Cottage style of architecture in Pinole illustrate a unique evolution of the style from a rural farmhouse with earlier Italianate

Cottage features (tall narrow windows and hip roof) to the more common Queen Anne Cottages of the 1890s. The uniqueness of this collection is that they were all built at the same time and still illustrate the past and future of American housing fashions at that time.

The Hip Roof Cottages are less identified with a specific time period. The subtle stylistic details are the only features that establish the age of the buildings. The earliest examples are of the Italianate era, they have tall narrow windows and a small flat area at the roof peak. The major distinguishing feature is the porch design and detail features which vary according to what was available for decoration at the local lumber yard when they were built.

The Bungalow or Craftsman Bungalow was the predominant housing style between 1915 and 1930. In Pinole these houses are dispersed throughout Old Town as infill. Good unaltered examples of this housing style are located along Pinole Valley Road.

## ***Section 3: Process***

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The design guidelines which follow are to be used as an advisory tool. All projects must be submitted to the Design Review Board for review and approval. Compliance with these guidelines is strongly encouraged. The design guidelines are intended to further a dialogue between architects, designers, developers and community representatives about the appropriateness of specific design proposals.

The design guidelines indicate the design elements that should be present in an architecturally compatible Old Town building and focus attention on those design and land use elements that encourage a comfortable pedestrian environment. The design guidelines cannot be used as a checklist, but require interpretation based on the building site and the existing architecture.

The Design Review Board will meet to review project proposals against the adopted design guidelines. A written record of the review and recommendation will be forwarded to the Planning Commission. For projects requiring staff review, a written record will be kept on file in the Community Development Department. Built into the proposed process is an annual evaluation, by the Planning Commission, to gauge the effectiveness of the process and the adequacy of the guidelines.

### **3.1 Language**

Guidelines which employ the word '**should**' are intended to be applied as stated. Guidelines using the word '**encouraged**' are desirable but not mandatory. Guidelines using the word '**discouraged**' should be strictly adhered to. Guidelines using the word '**must**' are based on an existing regulation that must be followed.



## **Section 4:**

### **Commercial Guidelines**

#### **New Construction**

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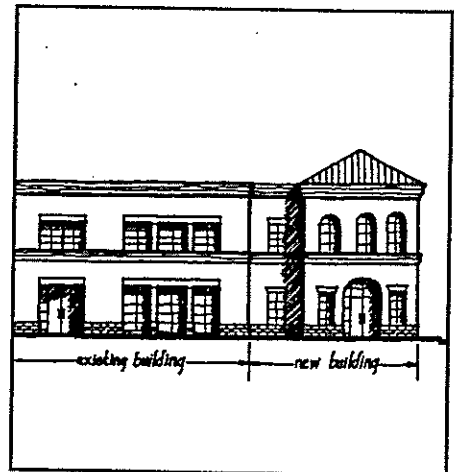
Commercial development, within the boundaries of the Old Town Design Guidelines Overlay District, should be especially sensitive to issues of compatibility. Indeed, the economic success of Old Town businesses is in many ways dependent on maintaining the architectural character and quality that sets the downtown apart from other shopping areas in Pinole. For this reason, architectural design guidelines for new buildings are proposed in this section.

#### **4.1 The Setting**

The existing buildings and landscape of Old Town are the frame of reference for new development. To the extent that the scale and texture of new buildings blends with what is already there, the city is continuously woven together. Conversely, the blatant disregard of the existing pattern disrupts the essential character of the city.

##### **A. Surrounding Area Character**

- ❖ **All new structures and uses should be compatible with the character of the existing neighborhood.**
- 1. New development **should** complement the architectural styles, building forms and landscape patterns of neighboring development.
- 2. New development **should** incorporate representative characteristics of the surrounding area, when the area exhibits a positive and distinctive architectural style and/or established functional pattern.



*Figure 1: Similar materials, proportions and scale employed on a new building adjacent to an historic one.*

3. New development **should** respect existing structures, in the immediate area, through the use of similar materials and proportions and the avoidance of overwhelming scale and visual obstruction, Refer to Figure 1.

## B. Site Character

### ❖ Site amenities should be preserved and should become part of a new project.

1. Natural amenities such as views, mature trees, creeks and similar features, unique to a site, **should** be preserved and incorporated into development proposals.
2. Structures which are historic, or are otherwise distinctive, **should** be preserved and incorporated into development proposals.
3. Buildings should not back onto natural amenities. High activity areas, such as restaurant dining areas or major pedestrian routes, **should** be oriented to create a connection between the amenity and the project. Refer to Figure 2.

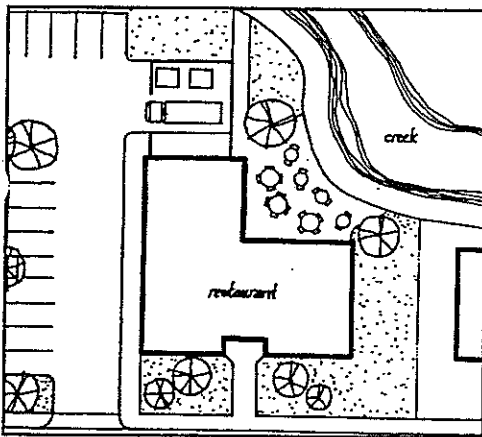


Figure 2: Site plan incorporating a natural amenity.

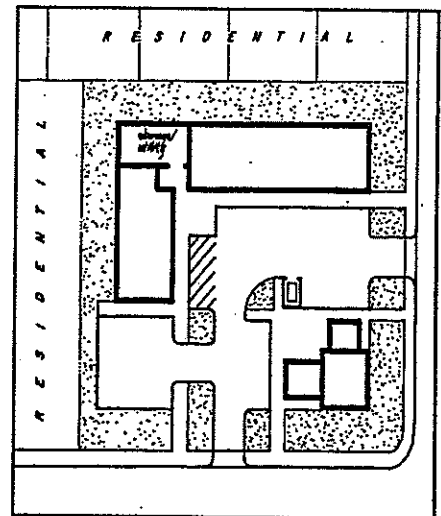
## C. Interfaces

### ❖ Structures and activities should be located and designed to avoid creating nuisances and hazards for adjoining properties.

1. Noise, traffic, odor generating activities and hazardous activities **should** be located adjacent to similar activities on adjacent properties, whenever possible.

The location of these activities next to residential or other sensitive uses **should** be avoided.

2. Loading areas, access and circulation driveways, trash areas, storage areas and rooftop equipment **should** be located as far as possible from residential or other sensitive uses. These uses **should** never be located next to residential properties without fully mitigating their negative effects.
3. Residential and non-residential uses, except when located in the same structure, **should** be segregated in order to maintain a livable residential environment through the use of masonry walls, landscaping, berms, building orientation and activity limitations.
4. When residential and non-residential uses can mutually profit from a connection rather than a separation, applicable connective elements such as walkways, common landscaped areas, building orientation and unfenced property lines **should** be used and are strongly **encouraged**. Refer to Figure 3.



*Figure 3: Loading and trash collection located away from residential properties; utilities and storage incorporated into building.*

## 4.2 Structures

The design and placement of a new building **should** respond to the general characteristics of its surrounding area, to the architectural standards of the larger community and to the opportunities and limitations of its site.

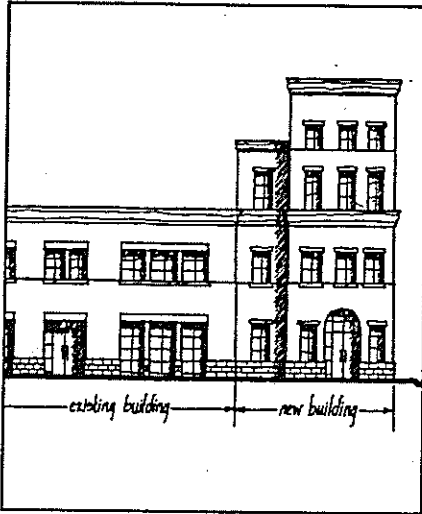


Figure 4: A gradual height transition.

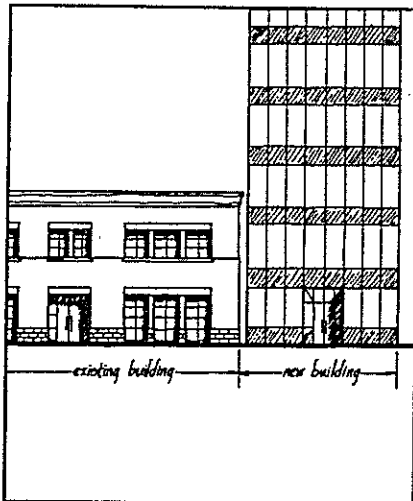


Figure 5: Abrupt height transitions or changes in mass should be avoided.

## A. Height and Mass

- ❖ Height transitions between existing and new buildings should be gradual. Refer to Figure 4. The height and mass of new projects should not create abrupt changes from those of existing buildings. Refer to Figure 5.

1. Minimum building height **should** not be less than seventy five percent of the highest adjacent building.
2. Maximum building height **should** be two stories and thirty five feet.
3. A maximum building height of three stories and forty feet may be remitted if the third story volume is enclosed by a pitched roof, if the third story is setback a minimum of ten feet from all street-fronting elevations or if the third story serves as a transition between adjacent structures of similar height. Note: A variance may need to be obtained to allow a building to be more than two stories or thirty five feet in height.

## B. Building Orientation

- ❖ Buildings should be oriented parallel to streets and, with some exceptions, should be placed as close to the street as established setbacks permit. Refer to Figure 6

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1. Buildings **should** be generally placed at their front setback lines in order to define and enliven the streets. The front wall of a building may be set back a maximum of five feet from the front property line if seventy five percent of the front wall of the building is parallel to the property line. Exceptions may occur when features of an architecturally significant building are obscured by a building placed directly on its front property line.
2. Side setbacks are **discouraged**. If a building is setback from a side property line the minimum setback from the adjoining structure should be six feet, to allow for pedestrian access.
3. Corner buildings **should** have a strong tie to the setback lines of each street. The primary mass of a building should not be placed at an angle to the corner. This does not preclude angled or sculpted building corners. Corner entrances may be cut back up to six feet to create a diagonal at the ground level and/or upper levels.
4. Blank walls or loading areas, **should** not face public streets. Blank walls without windows and doors are only permitted on the interior side of a building, when such walls are blocked from view from a public place. Blank walls visible from a public place may be allowed if the wall is treated architecturally or with a wall graphic. Refer to Figure 7.

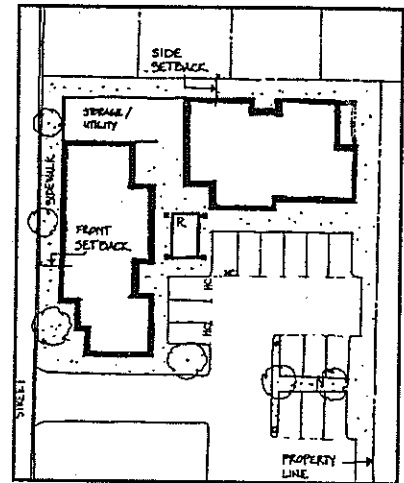


Figure 6: Building edges placed at minimum front setback line.

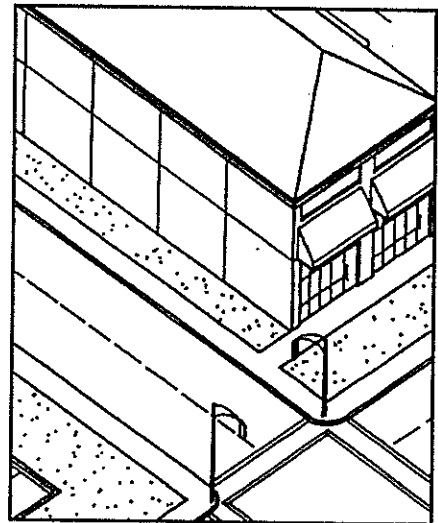


Figure 7: Blank building walls should not face public streets

### C. Building Form and Scale

- ❖ The elements of a building should relate logically to each other, as well as to surrounding buildings, to enhance the given or potential characteristics of a particular building and area.

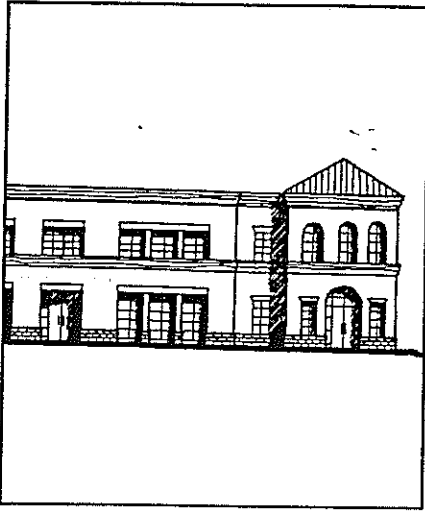


Figure 8: Base, mid-section and top treatment for low-rise building.

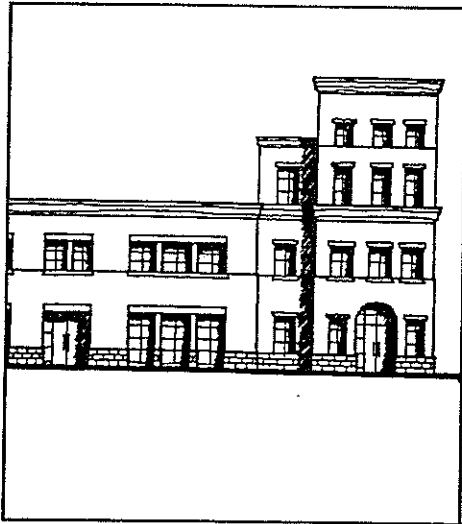


Figure 9: Base, mid-section and top treatment for taller structure.

1. New buildings **should** reflect the characteristic rhythm of surrounding building facades.
2. New buildings **should** contain three parts: a base, a mid-section and a top. On low-rise buildings, the different parts may be expressed through detailing at the building base and eave or cornice line. Refer to Figure 8. On taller buildings, different treatment of the first, middle and top stories **should** be used to define the three parts. Refer to Figure 9.
3. When new buildings are built immediately adjacent to or between existing buildings the design of the new building **should** respond to the existing buildings, through the use of architecture that provides transitional treatment between old and new. Such treatments may include matching cornice lines, a continuing colonnade and using similar materials and/or similar building proportions.
4. The scale of a new building **should** be compatible with, but not necessarily the same as, adjacent buildings. Special care, however, should be taken to achieve compatibility next to small scale buildings; techniques **should** include limiting size, building articulation and shadow patterns.

#### **D. Complexity/Unity**

- ❖ **A building should be stylistically consistent. Architectural style, materials, colors and form should all work together to express a single theme.**

1. Each building **should** be stylistically consistent.
2. The exterior building design, including roof style, color, materials, architectural form and detailing, **should** be consistent on all elevations of a building.
3. Monotony of building design **should** be avoided; on the other hand to busy of a design **should** also be avoided. Variation in wall plane, roofline, detailing, materials and siting may be used to prevent a monotonous appearance in buildings. Roof and wall plane variations, including building projections, bay windows and balconies, are **encouraged** to reduce scale and bulk.
4. Accessory structures **should** be architecturally consistent with the primary structures on a site.

#### **E. Roofs**

- ❖ **Roofs should be an integral part of the building design and overall form of the structure. Roofs should respond to the general design and nature of other roofs along the street. Refer to Figure 10.**

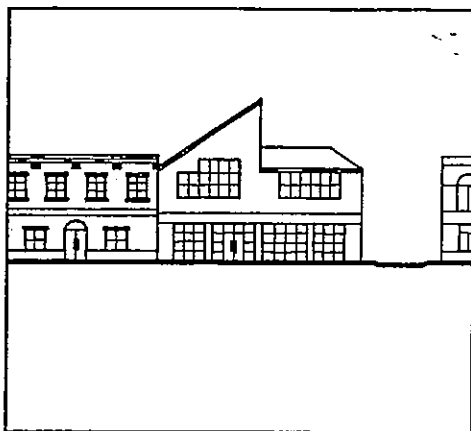


Figure 10: Roof types incompatible with adjacent roof types should be avoided.

1. The rooflines of buildings on adjacent properties **should** be considered when designing a new building so that clashes in style and materials are avoided.
2. Special attention **should** be given to the finish of parapets when buildings have flat roofs. Parapets **should** be finished with cornices, other horizontal decoration and/or clean edges with no visible flashing, depending on the architectural style of the building
3. Roof forms and materials **should** be stylistically consistent with the overall design theme of the building.
4. Roofs and rooflines **should** provide visual interest and should complement the overall facade composition.
5. Decorative roof elements **should** continue all the way around the building. Roof elements may be combined with wall or other roof elements which will work together on all sides of the building.

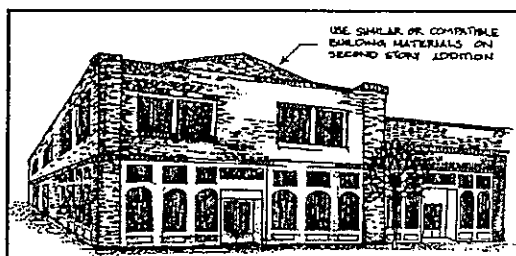


Figure 11: Use of building materials which are similar to those used on existing buildings.

## F. Materials and Colors

- ❖ The choice and use of building materials and colors **should** be balanced and should enhance the substance and character of the building. Refer to Figure 11.

1. Building materials that are similar in texture to those established in the District **should** be used.
2. Materials and colors **should** be varied to provide architectural interest. The number of materials and colors **should** not exceed what is required for contrast



and accent of architectural features and **should** be generally limited.

3. The exterior materials and architectural details of a building **should** relate to each other in ways that are traditional and/or logical. For example, heavy materials **should** appear to support lighter ones.
4. Appropriate building materials include:
  - Stone and Stone Veneers
  - Stucco and Plaster
  - Brick
  - Horizontal Wood Siding
  - Split-Face Concrete
  - BlockWood Shingles
  - Ceramic Tile
5. Inappropriate building materials include:
  - Vertical Wood Siding
  - Aluminum
  - Reflective Glass/Sheathing Glass
  - Simulated Finishes
  - Plywood Siding
6. Trim colors should contrast with building colors.
7. The color palette chosen **should** be compatible with the colors of adjacent structures.
8. Large areas of intense white color **should** be avoided.
9. Bright colors **should** be used sparingly. Fluorescent paints and garish colors are **discouraged**.

10. The number of colors appearing on a structure's exterior **should** be minimized. Small structures **should** use no more than three colors.

### 4.3 Facade Composition

The basic commercial facade **should** consist of three parts: the storefront, with an entrance and display windows; the upper facade, with regularly spaced windows; and the cornice, which caps the building.

#### A. Building Entrances/Facades

##### ❖ Building entrances **should** be clearly defined and accessible.

1. Building entrances **should** be prominent and easy to identify.
2. Second floor entrances **should** be placed at the rear or side of the building. Second floor entrances **should** be easily identifiable and distinguishable from first floor entrances.
3. Buildings designed to include prominent corner entrances are **encouraged**.
4. Side and rear building facades **should** have a level of trim and finish compatible with the front facade, especially if they are visible from streets, adjacent parking areas, public spaces, pedestrian spaces or residential buildings.

## B. Storefronts

❖ Buildings with inappropriately designed storefronts can clash with each other, visually damaging the overall character of the entire District. Proper design of the storefront is a high priority concern. Refer to Figures 12 and 13.

1. Storefronts **should** have their own base, roofline and pattern of door openings.
2. A panel of tile or other special material is **encouraged** below display windows.
3. The storefront **should** be composed almost entirely of glass, creating visual openness, balanced by more wall and less glass on the upper facade.
4. Recessed entries are **encouraged** as another traditional element of the storefront.
5. Doors **should** be substantial and well-detailed. They should be compatible with the building materials and with the design and character of the windows.
6. Visual elements **should** be provided at the second floor to differentiate the storefront from upper levels of the building.

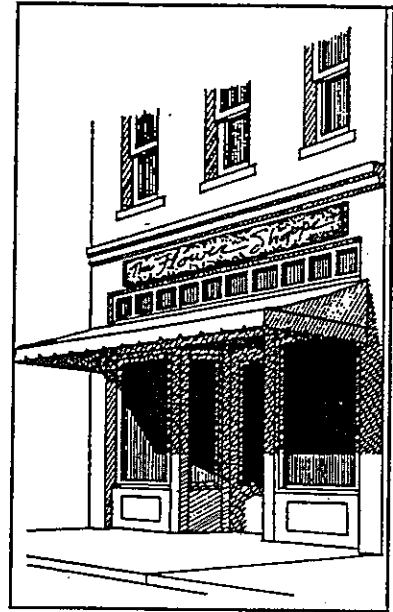


Figure 12: Well designed store front.

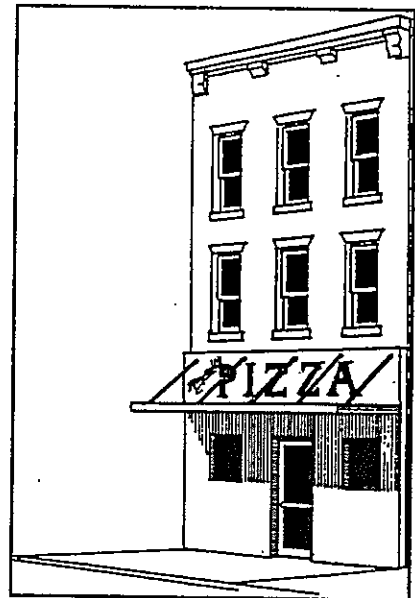


Figure 13: Poorly designed store front.

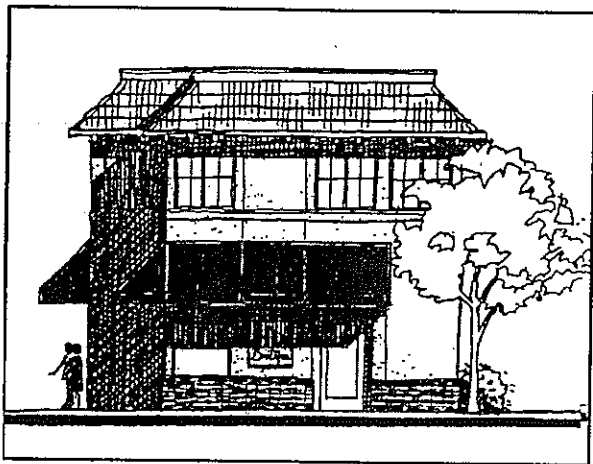


Figure 14: Awnings to reinforce store front openings are encouraged.

### C. Awnings

❖ The use of awnings is an important design element of the traditional storefront. They can be used to add complexity and shade storefront glass. Awnings should be mounted over a metal structure that is framed.

1. Awnings obscuring the architectural features of buildings are **discouraged**. Awnings should reinforce the design of the storefront. Refer to Figure 14.
2. Awnings **should** be in scale with the building.
3. Awnings **should** be placed a minimum of seven and one half feet above the sidewalk and project no more than seven feet from the building wall.
4. Awnings **should** be located above windows and doors, but below the storefront cornice or sign.

### D. Windows

❖ Window frames, transoms and first-floor display windows should align horizontally along the street creating a strong visual tie between buildings.

1. The horizontal alignment of the first floor transom and display windows **should** be maintained. Refer to Fig. 15.
2. The pattern created by upper-story windows should be maintained.



Figure 15: Horizontally aligned windows.

3. The clear distinction between the first floor and upper floors **should** be maintained. The first floor should have large areas of glass and upper floors should emphasize solid walls.
4. Clear glazing is strongly **encouraged**. Reflective glazing is strongly **discouraged**. If tinted glazing is used, the tint **should** be kept as light as possible.
5. Muntins or mullions are **encouraged** whenever their use would be architecturally compatible with the overall design of the building. "Snap-in" muntins or mullions are **discouraged**.

#### **E. Lighting**

- ❖ **Lighting should be used to create a sense of security and safety for on-site areas.**
1. Lighting **should** be adequate but not overly bright. All building entrances **should** be well lighted.
  2. All lighting fixtures **must** be shielded to confine the light within the site boundaries.
  3. The design of light fixtures and their structural supports **should** be architecturally compatible with the main structures on the street. Light fixtures **should** be integrated in the architectural design of the building.
  4. All light fixtures **should** be designed and for pedestrian activities.

## 4.4 Landscaping

Planted areas are used to frame and soften buildings, to define site functions, to enhance the quality of the environment and to screen undesirable views.

### A. General

❖ **Landscaping should work with the surrounding buildings to make a positive contribution to the aesthetics and function of the specific site and the area.**

1. All areas not covered by structures, service yards, walkways, driveways or parking spaces **should** be landscaped.
2. Landscaping **should** generally consist of live plants. Gravel, colored rock, tan-bark and similar materials are acceptable as mulch but not as ground cover. Plazas and other areas subject to pedestrian traffic may be paved with decorative materials, such as brick or cobblestone, in conjunction with live plants.
3. Landscaping **should** be used to define specific areas, define the edges of various land uses, provide a transition between neighboring properties and provide screening for loading and equipment areas.
4. Unity of design **should** be achieved by repetition of certain plant varieties and other materials and by coordination with adjacent landscaping, where appropriate.
5. Existing mature trees, creeks and riparian corridors **should** be preserved and incorporated into landscape plans.

6. Landscaping incorporated into a building design is **encouraged**. Trellises, arbors and cascading terrace landscaping should be considered.
7. The use of native and drought resistant plants, shrubs and trees is **encouraged**.

## 4.5 Parking and Circulation

A properly functioning parking lot is a benefit to property owners, their tenants and their customers. A parking lot needs to allow customers and deliveries to reach the site, circulate through the parking lot and exit the site easily and safely. Clear and easy to understand circulation should be designed into the project to allow motorists and pedestrians to move through the site without confusion.

### A. General

- ❖ **Parking lots should be designed for convenient parking and safe circulation.**
  1. Parking lots **should** be accessed from commercially developed streets.
  2. Surface parking lots **should** be located to the rear or side of buildings. Refer to Figure 16.
  3. Screen walls must not be located where they block the sight lines of drivers entering, leaving or driving through a site.
  4. Shared parking between adjacent businesses and/or developments is highly **encouraged**, whenever practical.

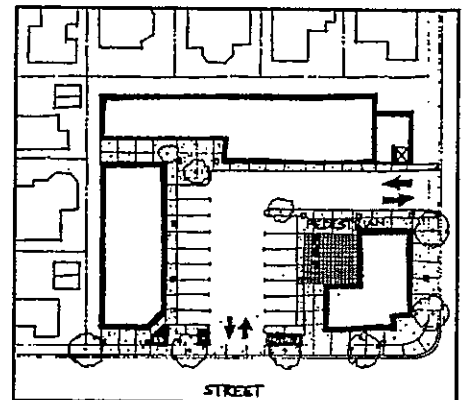


Figure 16: Rear parking lot accessed from a commercially developed street.

5. Parking areas **should** be landscaped, receiving interior as well as perimeter treatment, and designed in a manner which links the parking area to the street sidewalk system.
6. All parking areas **should** be well lighted.

## **B. Parking Structures**

### **❖ Parking structures should be designed to minimize negative impacts on adjoining properties and on the streetscape.**

1. Parking structures **should** be no taller than the principal building(s) they serve and **should** be complementary in form and materials.
2. Vehicles **should** be screened so as not to be visible above the principal building(s).
3. Every attempt **should** be made to screen parking structures from view from adjoining properties.
4. Parking structures **should** be architecturally consistent with the project and/or surrounding area. Plain or blank wall surfaces **should** be avoided. Ramped floors should not be visible from the street.
5. Setbacks for parking structures **should** match the setbacks for other on-site buildings.
6. Light fixtures within parking structures **should** be designed so the light source is not visible from off-site locations.



7. Lighting on the top deck of a parking structure **should** be architecturally integrated with the building and should not be mounted on tall poles.
8. Parking structure walls, adjacent to residential properties, **should** not have any openings through which sound may be transmitted.

### C. Pedestrians and Bicyclists

#### ❖ Safe and convenient facilities and means of access **should** be provided for pedestrians and bicyclists.

1. Pedestrian pathways **should** be provided through parking areas. Refer to Figure 17.
2. Bike racks **should** be provided at all commercial centers and at other retail and office sites large enough to attract and accommodate bicyclists.
3. Provisions for access by disabled persons **should** be incorporated into the overall pedestrian circulation system. The overall project design **must** be in compliance with The American Disability Act and Uniform Building Code.
4. Direct pedestrian access **should** be provided from main thoroughfares and/or side streets to the building entrance.

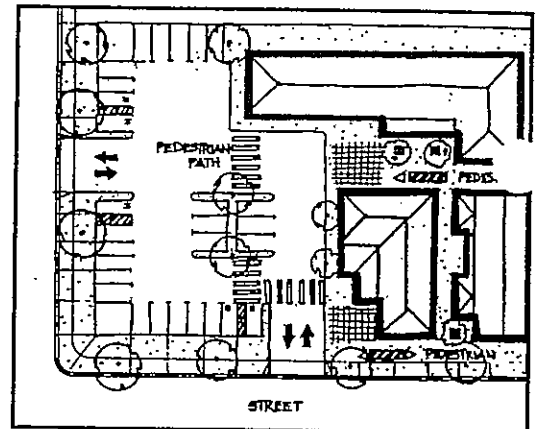


Figure 17: Dedicated pedestrian pathway through a parking lot.

5. Service access from side streets **should** be preserved and enhanced, wherever possible. Trash and loading areas **should** be centralized and screened from thoroughfares, side streets and properties to the rear.
6. Pedestrian corridors between buildings are **encouraged** where through block access is appropriate.
7. Signage indicating pedestrian routes **should** be provided.

## Section 5: Commercial Guidelines Regional Development

This section addresses those design issues related directly to regional commercial development, located along Pinole Valley Road between Henry Avenue and Interstate 80. Regional commercial development has its own set of characteristics which have been acknowledged and treated separately in this section. These guidelines are intended to improve the overall design quality of and emphasize the distinguishing characteristics of regional commercial uses, that may locate within this portion of the Old Town Design Guidelines Overlay District. The commercial design guidelines set forth in Section 4 also apply to all regional commercial development. This section is intended to review issues, specific to regional commercial development, not discussed in Section 4.

### 5.1 Regional Development

The major design problem facing regional commercial development is the interface between a commercial center's service activities and adjacent residences. The following section provides several techniques for mitigating the negative effects imposed by regional commercial development on adjacent residential uses.

#### A. Building Setbacks

❖ Refer to Figure 18.

	Non-Residential Interface	Residential Interface
Street	25'	25
Interior	5'	1½' : 1'

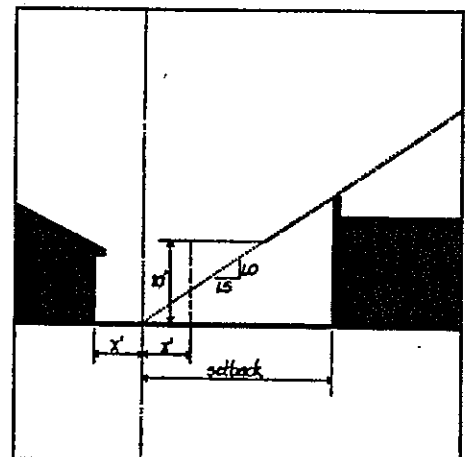
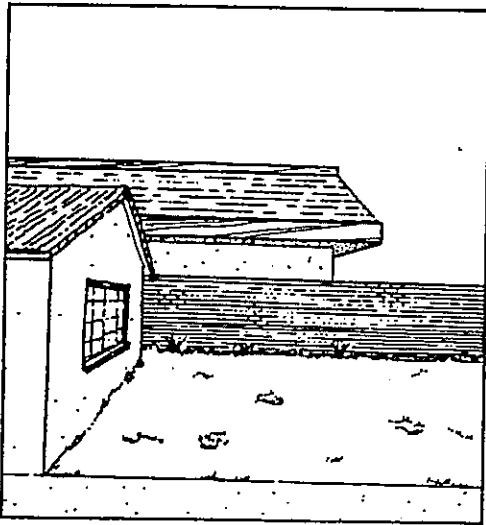


Figure 18: One and one half feet of setback from residential for each foot of building height.

## B. Site Orientation

1. All buildings on the same site **should** have a strong spatial and functional relationship to each other.
2. Multiple buildings in a single project **should** be varied in size and mass.
3. Portions of primary buildings and free standing buildings should be located at the street setback lines.
4. Parking **should** be provided within convenient walking distance to all commercial tenants.

## C. Building Design



*Figure 19: Commercial use compatible with adjacent residential use.*

1. Building elements, such as large blank building walls or loading areas, which disrupt the continuity of shops and businesses **should** be avoided.
2. Where long buildings are unavoidable, their linearity **should** be mitigated by changes in the building height, wall plane and spatial volumes and by varied use of window areas, arcades, materials and roof elements.
3. Portions of buildings adjacent to and visible from residential properties **should** always be architecturally compatible with surrounding residential uses. Refer to Figure 19.

## ***Section 6:*** **Residential Design Guidelines** **New Construction**

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As discussed in Section 2, Pinole's historic residential design themes include: Queen Anne Cottages, Hip Roof Cottages and Bungalows. Although many of these buildings have retained some of their original character, others have been poorly remodeled or completely altered in appearance. The goal of this section is not to replicate Pinole's historic styles but to encourage new construction that acknowledges the architectural style of existing structures.

### **6.1 The Setting**

The existing buildings and landscape of the city are the frame of reference for new development. To the extent that the scale and texture of new buildings blends with what is already there, the city is continuously woven together. Conversely, the blatant disregard of the existing pattern disrupts the essential character of the city.

#### **A. Surrounding Area Character**

- ❖ **All new structures and uses should be compatible with the character of the existing neighborhood.**

1. New development **should** complement the architectural styles, building forms and landscape patterns of neighboring development.



*Figure 20: New development should incorporate representative characteristics of existing structures.*

2. New development **should** incorporate representative characteristics of the surrounding area, when the area exhibits a positive and distinctive architectural style and/or established functional pattern. Refer to Figure 20.
3. New development **should** respect existing structures, in the immediate area, through the use of similar materials and proportions and the avoidance of overwhelming scale and visual obstruction.

## **B. Site Character**

- ❖ **Site amenities should be preserved and should become part of a new project.**
1. Natural amenities such as views, mature trees, creeks and similar features, unique to a site, **should** be preserved and incorporated into development proposals.
  2. Structures which are historic, or are otherwise distinctive, **should** be preserved and incorporated into development proposals.

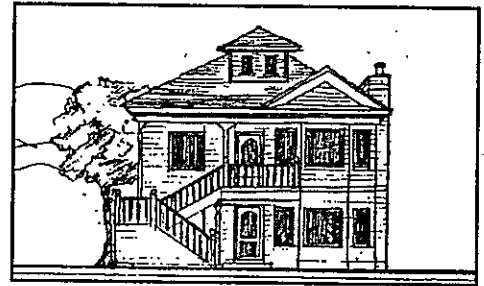
## **6.2 Structures**

The design and placement of a new building **should** respond to the general characteristics of its surrounding area, to the architectural standards of the larger community and to the opportunities and limitations of its site.

**A. Height and Mass**

- ❖ **The height and mass of a new residence should be compatible with the height and mass of the existing residences in the neighborhood and should respect the streetscape as a whole.**

1. Minimum building height should not be less than ten feet. New residential construction should be compatible with adjacent structures in story height.
2. Maximum building height should be two stories or thirty five feet.
3. A maximum building height of three stories may be permitted, in single-family or multi-family buildings, if the third story volume is enclosed by a pitched roof. Refer to Figure 21. Double-pitched roofs of any kind and mansard or gambrel roofs are acceptable. Single-pitched "shed" roofs are not appropriate and will not qualify for an exception. Note: A variance may need to be obtained to allow a building to be more than two stories.



*Figure 21: Maximum building height of three stories may be permitted if compatible with existing residences.*

**B. Building Orientation**

- ❖ **The siting of a new residence should be compatible with the siting of the residences along the street on which the new residence fronts.**

## Front Setbacks

1. All buildings **must** be setback a minimum of twenty feet from their front property line.
2. A curbside planting strip four feet wide and a minimum of a four foot wide sidewalk **should** be provided as part of all new development. A public easement **should** be established along the area between the existing street right-of-way and the back edge of the sidewalk.
3. Open porches and stairs may extend a maximum of five feet into the front setback area.
4. Architectural elements that add interest may encroach up to five feet into the front setback area.
5. A variance may need to be obtained to allow a building to encroach into the front setback area.
6. The required depth of the setback abutting a street may be reduced to the average depth of such yard on the adjoining lots if the adjoining lots are developed with residential buildings or if the reduction does not conflict with an already recorded plan line. Refer to Figure 22. Note: A variance may need to be obtained to reduce the depth of the setback abutting a street.

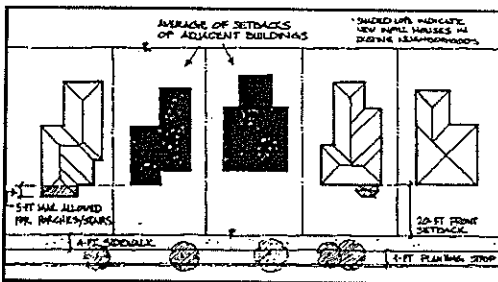


Figure 22: Infill lot front setback should be average of adjacent buildings.



### Side Setbacks

7. Buildings **must** be setback a minimum of five feet from the property line on both sides. On the street side of a corner lot, side yards **must** not be less than twenty percent of the lot width. Side yards on streets **must** not be less than ten feet and need not exceed twenty feet.

### Rear Setbacks

8. Principal buildings or main structures **must** be setback a minimum of ten feet or twenty percent of the lot depth and need not exceed twenty feet. Refer to Figure 23.
9. Accessory buildings, including garages, but excluding second units, may have a setback of zero feet, provided that the setback from the rear of the principal building is a minimum of eight feet and has a seventy five foot front setback. Freestanding garages **should** be unobtrusive, preferably located at the rear of properties to minimize visual impact.
10. Second units **must** not be less than eight feet from the principal building or main structure and setback not less than five feet.

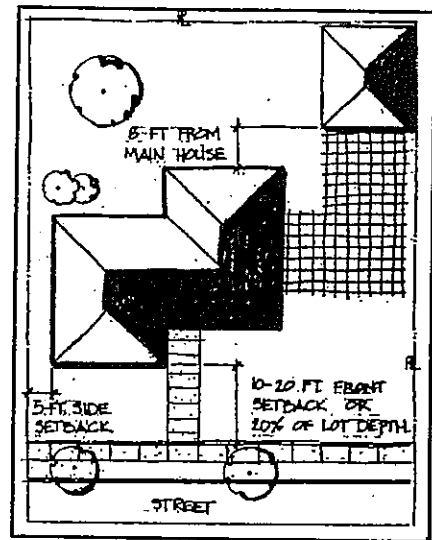


Figure 23: Building setback minimums.

### C. Building Design

- ❖ New residential construction should be compatible with the predominant architectural styles in the neighborhood.

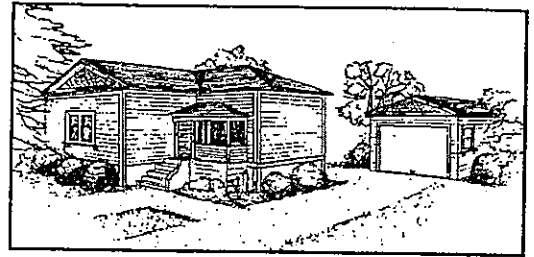
1. Architectural elements that add interest, such as courtyards, porches, balconies, trellises, bay windows and planter boxes are **encouraged**.
2. Entrances to buildings **should** be visible from the street. The entryway should be well defined and lead from the sidewalk to an entry door.
3. Each developed parcel **should** provide at least one side or rear yard space of at least five hundred square feet. The yard **should** be based on a rectangular configuration, with no dimension less than eighteen feet in length.
4. Long uninterrupted flat-faced exterior walls should be avoided on all structures. All exterior walls should have architectural relief to help create an interesting design. The use of different textures, relief and design accents on building walls can help improve architectural design.
5. All stairs **should be** boxed and framed by attractive stepped solid walls or balustrade railings. Open porches **should** have attractive solid or open railings and a roof that complements the pitch and materials of the building's main roof. Supporting structures for these elements should be enclosed by solid walls or skirting.
6. The roof form **should** complement building mass. Pitched roofs, dormer windows, chimneys and other traditional residential forms are **encouraged** to add variety and make roofs attractive.



#### **D. Accessory Building Design**

- ❖ **Accessory buildings should be compatible with the main residential structure. They should be secondary in importance to the primary structure.**

1. Accessory buildings, including garages and carports, **should** have architectural treatments derived from the main building: surface materials, trim, fenestration, roof, materials and color. Refer to Figure 24.
2. Single-car garage doors are encouraged, with windows, surface panels, trim and other forms of architectural detailing to reduce their impact and scale.



*Figure 24: Compatibly designed accessory building/garage.*

#### **E. Materials and Colors**

- ❖ **The building materials and colors should be similar to those already in use.**

1. Appropriate building materials include:
  - Stucco
  - Brick
  - Horizontal Wood Siding
  - Wood Shingles
2. Inappropriate building materials include:
  - Vertical Wood Siding
  - Aluminum Siding
  - Vinyl Siding
  - Plywood Siding
  - Simulated Masonry Finishes

3. The color palette chosen **should** be compatible with the colors of adjacent structures.
4. Fluorescent paints and garish colors are **discouraged**.
5. A single body of color with a brighter and/or lighter accent color is usually the choice for most houses. A good rule of thumb when one desires to use a bright color is "one light, one bright," the bright color being used sparingly as the accent.

## F. Windows

### ❖ Windows should reflect the window patterns of the District.

1. All windows within a building, large or small, **should** be similar in operating type, proportions and trim. Other unifying elements should be used, such as common sills. Refer to Figure 25.
2. Built-up sills and trim **should** be used to create surface relief and texture.
3. Glass **should** be inset from the exterior surface to add relief to the wall surface, this is especially important for stucco buildings.
4. Special windows such as bays and dormers **should** be used to add interest and a domestic expression to the facade.

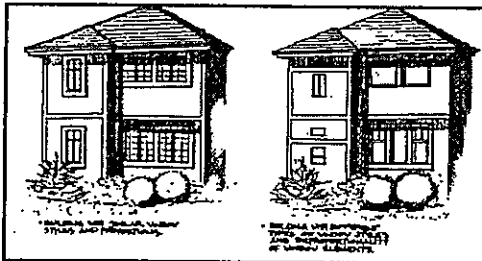


Figure 25: Building window style, consistent and inconsistent.

## G. Lighting

- ❖ **Lighting should be used to create a sense of security and safety for on-site areas.**

1. Ornamental lighting for porches and walks is **encouraged** to add attractiveness, safety and security.

## 6.3 Landscaping

Planted areas are used to frame and soften structures, to define site functions, to enhance the quality of the environment and to screen undesirable views.

### A. General

- ❖ **Landscaping should work with the surrounding buildings to make a positive contribution to the aesthetics and function of the specific site and the area.**

1. Existing mature trees, creeks and riparian corridors should be preserved and incorporated into landscape plans.
2. Items such as trellises, arbors and special landscape materials that add character to yard spaces and accent the entry sequence are **encouraged**. Items such as low hedges, fences or entry gates are **encouraged** to define the edge between the public street and private property. Refer to Figure 26.
3. The use of native and drought resistant plants, shrubs and trees is encouraged.

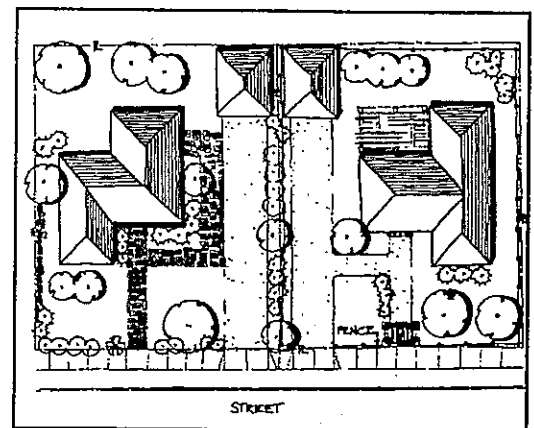


Figure 26: Use of trellises and arbors are encouraged as entry accents.

## 6.4 Vehicular Access

### A. Driveways

- ❖ The placement and design of a driveway should respect adjacent structures and properties.

1. All ramps **should** have a maximum grade of sixteen percent.
2. Setbacks from adjacent properties **should** be a minimum of five feet.
3. Setbacks from adjacent buildings **should** be a minimum of three feet.

### B. Parking

- ❖ Garages should be part of the overall residential design.

1. Single-family residences **should** have enclosed garages.
2. Multi-family residences **should** have covered parking.
3. Parking spaces for second dwelling units may be uncovered.
4. Freestanding garages **should** be located to the rear of principal buildings. Individual garage doors **should** be provided. A maximum of three garage doors may be lined up consecutively; a space of five feet **should** be provided between each group of three doors. Refer to Figure 27.

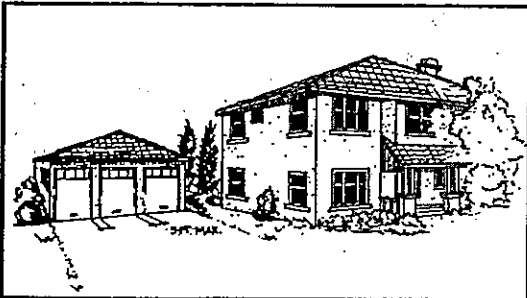


Figure 27: Detached garage located near rear of property using individual garage doors.

## ***Section 7: Rehabilitation***

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The design guidelines enumerated hereinafter are based on the Secretary of the United States Department of the Interior's "Standards for Rehabilitation". The Secretary's "Standards" are a set of ten general criterion developed to provide a practical guide for historic rehabilitation projects.

Care should be taken to preserve those historic buildings that make Pinole unique. The guidelines discussed in the previous sections, coupled with these ten principles, should be used by architects, designers and developers to ensure that Pinole's unique character is maintained. All projects, new construction and rehabilitation, are subject to the guidelines set forth in this document and will be considered by the Design Review Board.

### **7.1 Guidelines**

1. Every reasonable effort **should** be made to provide compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.
2. Destruction of the distinguishing original qualities or character of a building, structure, or site and its environment is **discouraged**. The removal or alteration of any historic material or distinctive architectural features **should** be avoided when possible.
3. All buildings, structures, and sites **should** be recognized as products of their own time. Alterations that have no historical basis or which seek to create an earlier appearance are **discouraged**.



4. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance **should** be recognized and respected.
5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site **should** be treated with sensitivity.
6. Deteriorated architectural features **should** be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material **should** match the material being replaced in composition design, color, texture and other visual qualities. Repair or replacement of missing architectural features **should** be based on accurate duplications of features substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures **should** be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials are **discouraged**.
8. Every reasonable effort **should** be made to protect and preserve archeological resources affected by or adjacent to any project.
9. Contemporary design for alterations and additions to existing properties **should not** be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment. Refer to Figure 28.

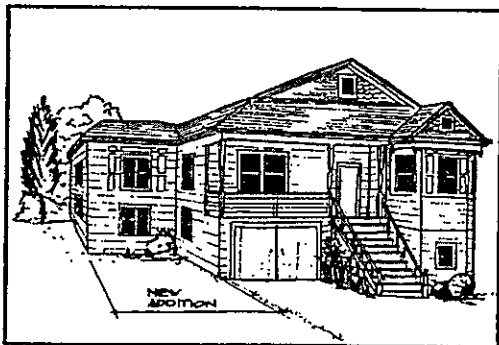


Figure 28: Contemporary addition designed to be compatible with historical structure.

10. Whenever possible, new additions or alterations to structure **should** be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

## **Section 8: Sign Guidelines**

The functions of a sign are to identify the location of a business, to promote the merchandise or service within the business and to attract customers to the business.

Large and flashy signs disrupt the visual character of Old Town and obscure architectural features. Small signs can serve the needs of businesses, while contributing to both the image of individual building and to the overall character of the Design Guidelines Overlay District.

### **8.1 Design**

The following guidelines are meant as a supplement to the City of Pinole's Sign Regulations (Pinole Municipal Code Chapter 17.28). The objective of these sign guidelines is not uniformity, but elimination of elements that result in a cluttered and unattractive setting. The guidelines provide basic parameters for creative signs that may be as unique as the business they represent.

#### **A. Design**

- ❖ **Every structure and commercial complex should be designed or rehabilitated with a precise concept for adequate signing. Provision for sign placement, sign scale and sign readability should be considered in developing the signing concept. All signage should be highly compatible with the building and site design relative to color, materials and placement.**

1. Signs **should** be designed, built and installed by a licensed sign contractor.
2. Keep signs subordinate. They **should** not overwhelm the facade of the building. Refer to Figure 29.
3. Signs **should** fit within the existing features of the facade and **should** not cover architectural elements such as windows, transoms or cornices.
4. Signs **should** be simple and have a direct message. Cluttered signage is difficult to read and may confuse the passersby. Refer to Figure 30.
5. Sign colors, shapes, materials and size should reinforce the overall composition of the facade.
6. Careful consideration **should** be given to minimizing and simplifying every sign's supporting structure.
7. Large signs designed to attract the attention of motorists on the freeway are not permitted, except for shopping center signs or such other similar regional complexes.
8. Signs within a shopping center or other complex **must** be designed as part of the entire project.
9. Consider using simple straight forward shapes that get the message across clearly. Signs as symbols are **encouraged** because they are easily read and enhance the pedestrian quality of the downtown.

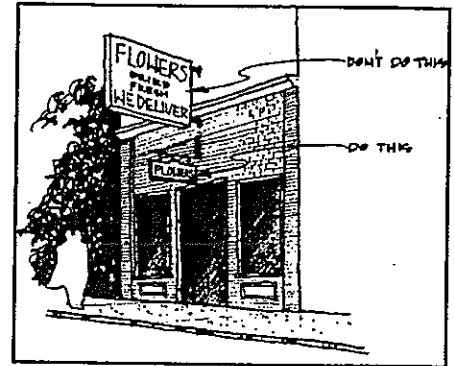


Figure 29: Example of appropriate and inappropriate sign size and sign placement.

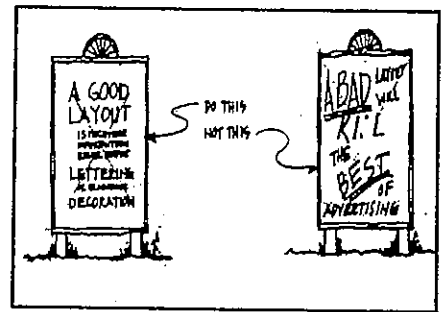


Figure 30: Example of cluttered signage and clear signage.

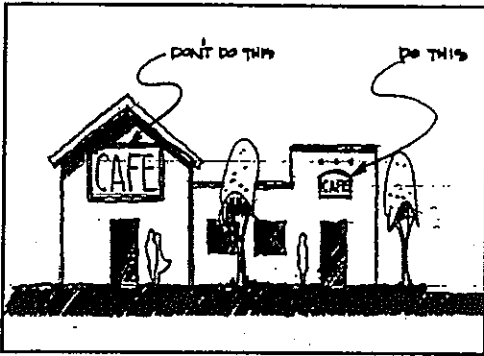


Figure 31: Example of appropriate and inappropriate sign placement.

## B. Sign Placement/Position

❖ Signs on storefronts should be located above display windows or awnings. Large signs near the top of building facades are discouraged. Refer to Figure 31.

1. Signs **should** be positioned so as not to obscure any architectural details. When several businesses share a building align all signs or use a directory.
2. Signs **must** not extend above the height of the immediately adjacent roof line or parapet.
3. Signs **must** not be mounted on or attached to the roof.
4. No part of a sign attached to or mounted on a building **should** project out more than thirty-six inches from the surface of the building to which it is attached.
5. Signs **must** not extend above the eave line. In case of a mansard roof, the sign may be incorporated in the roof if such sign is an integral part of the design of the building.
6. In multiple story structures, signs **should** be mounted somewhere above the display window or awning and below the second floor window sills.
7. Signs **must** not be located in a manner which may obstruct or interfere with the view of a traffic signal or other traffic regulatory signs.

### **C. Materials and Color**

- ❖ **Sign materials should be durable and easy to maintain. In general, building colors should be coordinated with sign colors.**

1. Appropriate sign materials include:
  - Routed, Carved, Sandblasted, Painted or Engraved Wood
  - Custom Cut and Applied Wood Letter
  - Precast Epoxy Letters
  - Metal
  - Slate or Marble
  - Vinyl
2. Sign colors **should** be coordinated with the colors of the building.

### **D. Sign Clarity**

- ❖ **Text should be kept to a minimum. The objective is to eliminate elements that result in a cluttered and unattractive setting.**

1. Letter styles of signs **should** be simple and easy to read.
2. The number of letter styles **should** be limited. Use of one or two letter styles is **encouraged**.
3. Letter forms **should** occupy no more than a maximum of seventy five percent of the total sign area.

## **E. Permitted Signs**

### **1. Permitted signs include:**

- Projecting Signs
- Flat Mounted or Painted Wall Signs
- Blade Signs Suspended from Canopies or Awnings
- Signs on Awnings or Canopies
- Monument Signs
- Pole Signs - A pole sign shall only be permitted when otherwise permissible freestanding monument sign would not be sufficiently visible due to obstruction or where there is no space in which to place the sign between the sidewalk and the building.
- Window signs with Painted or Vinyl Letters

## **F. Prohibited Signs**

### **1. Prohibited signs include:**

- Flashing Signs
- Signs with banners, flyers, pennants, pinwheels or two or more light bulbs in a wire string
- Portable Signs
- Board Signs
- Mobile Signs
- Moving Signs
- Non-accessory signs
- Reader Boards

## **G. Sign Lighting**

❖ **Sign illumination should be designed so as to avoid glare and light intrusion onto other signs or premises. Brightly illuminated signs are discouraged.**

1. Illumination external to the sign surface with lighting directed at the sign is encouraged. External lighting makes possible the illumination of architectural features. The bottom edge of light fixtures mounted on a building must be at least seven and one half feet above the sidewalk or finished grade.
2. Other types of sign lighting that may be acceptable include:
  - External incandescent sources
  - Small light sources placed inside of opaque projecting letters
  - Internally illuminated signs
3. Exposed neon **should** be carefully and sparingly used in signs.

## **H. Public Art**

❖ **Public artwork can lend identity, a sense of place and pride in a community. Artwork in outdoor public places, unlike gallery art, must be conceived as part of an overall architectural and landscape architectural design for a particular setting.**

1. Wall murals incorporating historic advertising art are **encouraged** to be painted on blank walls in Old Town.



# Glossary

The terms listed below have been defined to assist the reader in more fully understanding the Old Town Design Guidelines.

**Alteration:** Any addition or modification of any portion of the exterior of a building or designated feature that changes the architectural style, arrangement, texture or material of the building or feature or significantly changes the color, if such change, addition or modification is visible from a public street, sidewalk, alley or park

**Balustrade:** A railing consisting of a series of small columns connected at the top by a coping; a row of balusters.

**Berm:** A bank of earth, as the piled-up earth along a canal or against a masonry wall.

**Building Alignment:** A line usually parallel to a property line beyond which a structure may not extend. This generally does not apply to uncovered entrance platforms, porches, terraces, or steps.

**Cornice:** Any moulded projection which crowns or finishes the part to which it is fixed.

**Dormer:** A vertically set window on a sloping roof; the roofed structure housing such a window.

**Gable Roof:** A roof having a gable at one or both ends; a ridged roof that slopes up from only two walls. A gable is the triangular portion of the end a building from eaves to the ridge.

**Hipped Roof:** A roof with four pitched sides; a roof which rises by inclined planes from all four sides of a building.

**Massing:** Refers to the building shape; the combination of the different elements of the resulting bulk and shape of the building.

**Mullions:** A vertical or horizontal primary member dividing a window into 'lites', each of which may be further sub-divided into panes.

**Muntins:** The secondary member or stile in the framing of a paneled door, screen, as distinct from horizontal member or members called rails.

**Parapets:** a low protective wall on a bridge, gallery, balcony or above the cornice of a building.

**Pitch:** The angle, or degree, of slope of a roof.

**Roofline:** The contour or shape of a roof.

**Scale:** Refers to building size; the size of a structure relative to the size of the surrounding structures.

**Setback:** The minimum distance between a property line and a building, or portion thereof, as required by ordinance or code.

**Transom:** A horizontal member dividing a window.

**Window Panes:** A flat sheet of glass, cut to size for glazing a window or door

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## Item G3

Planning Commissioners Academy Takeaways, March 2020  
Moriarty, Murphy, Ojeda

<p>All commissioners should have all available city planning tools:</p> <ul style="list-style-type: none"> <li>• Planning handbook</li> <li>• Zoning codes</li> <li>• General/Specific Plans</li> <li>• Any other plans (Old Town?)</li> <li>• Map with a 500'/1000' circle around our residences to help determine if we need to recuse</li> <li>• Business cards</li> <li>• City-Sponsored Email Addresses</li> </ul>	<p>Owner/Manager Staff</p>	<p>Timeline/Dead line  April 27, 2020</p>
Order DIY Community Cookbook from 1st session	Commission	
Research Better Block Foundation - any possible relevance for Pinole?	Commission	
List of current and upcoming planning projects: Status spreadsheet	Staff	
Three-Corridors Specific Plan: needs to be updated with new housing laws including objective standards vs. current subjective standards.	Commission Council Staff	
Plan joint meeting to Improve/Initiate communication between Commission, City Council, and Staff.	Commission Council Staff	
Consider changing schedule to give commissioners agenda for meetings earlier than the Thursday afternoon before.	Staff	
CEQA - need direction from staff of any preparation we need to do for upcoming projects? What type of presenters can we bring to the Commission to understand more?	Staff	
<p>Questions:</p> <ul style="list-style-type: none"> <li>• Community Benefits Agreement Plan - does Pinole have one?</li> <li>• Vacancy fees - does Pinole have regulations and enforce them? Blight regulations?</li> <li>• Ex Parte contacts - Pinole regulations and guidance?</li> </ul>		

- What does Due Process mean in Pinole? (right to fairness and unbiased procedural due process)